



Business Papers 2021

MID-WESTERN REGIONAL COUNCIL

ORDINARY MEETING
WEDNESDAY 19 MAY 2021

SEPARATELY ATTACHED ATTACHMENTS

*A prosperous and progressive
community we proudly call home*



ATTACHMENTS

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Design	Drawn	Check
KG	CR	KG
Sheet 02 of 05		
Drawing Number		Revision
35146- A01		B



02 part site layout

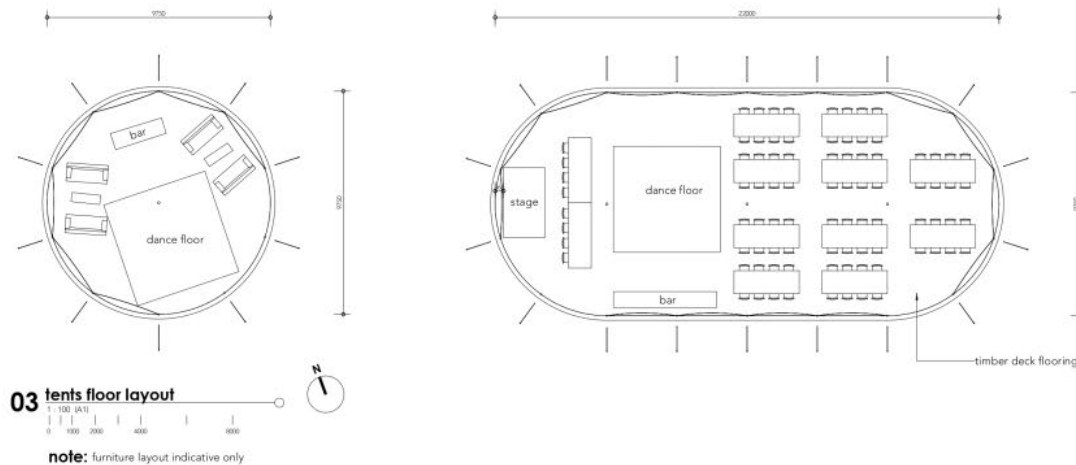


carparking:

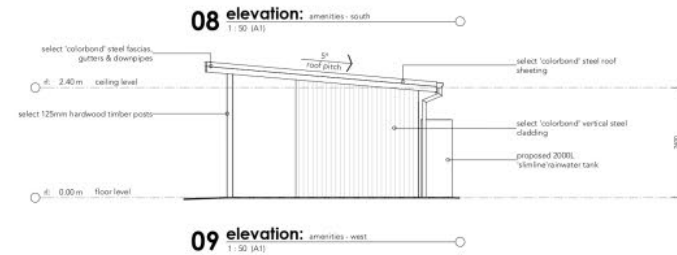
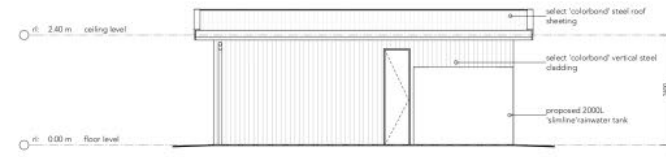
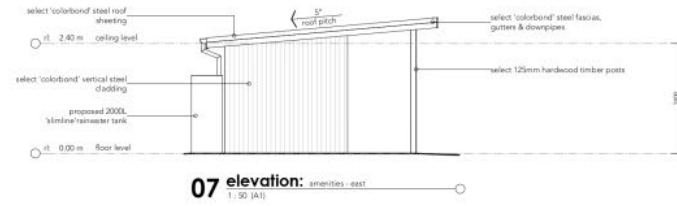
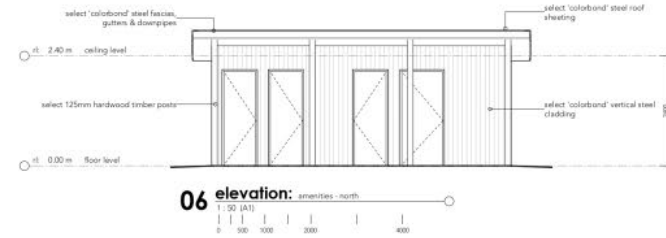
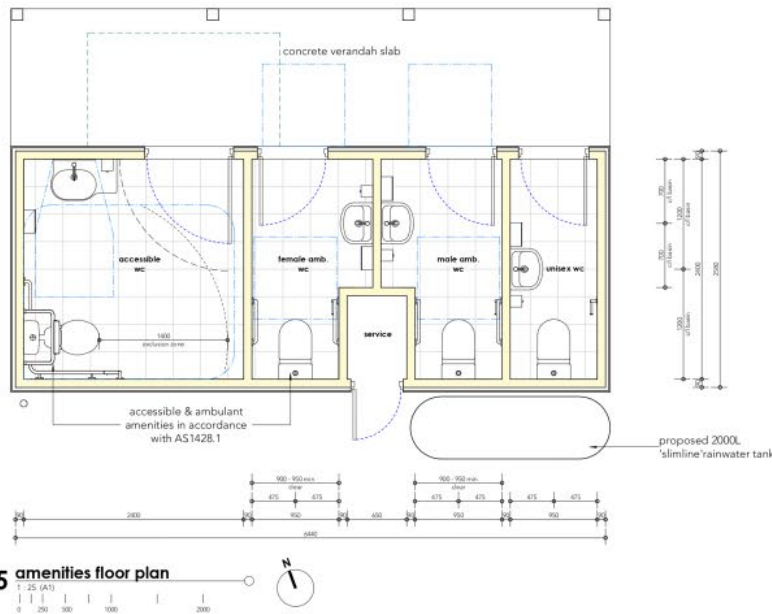
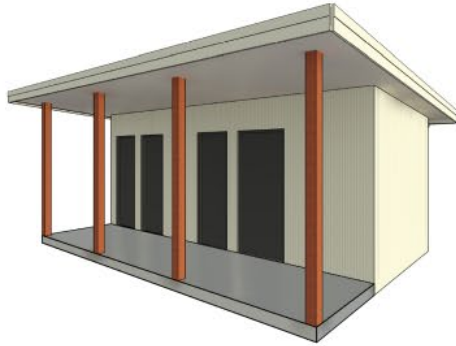
The following schedule has been prepared in accordance with 'mid western regional council's off-street parking code'.

building usage	persons	rate of prov.	total
Places of Public Worship, Entertainment, Facilities, Community facilities.	150	1 space per 4 seats	37.5
total number of carparking required			38
total number of carparking provided			42

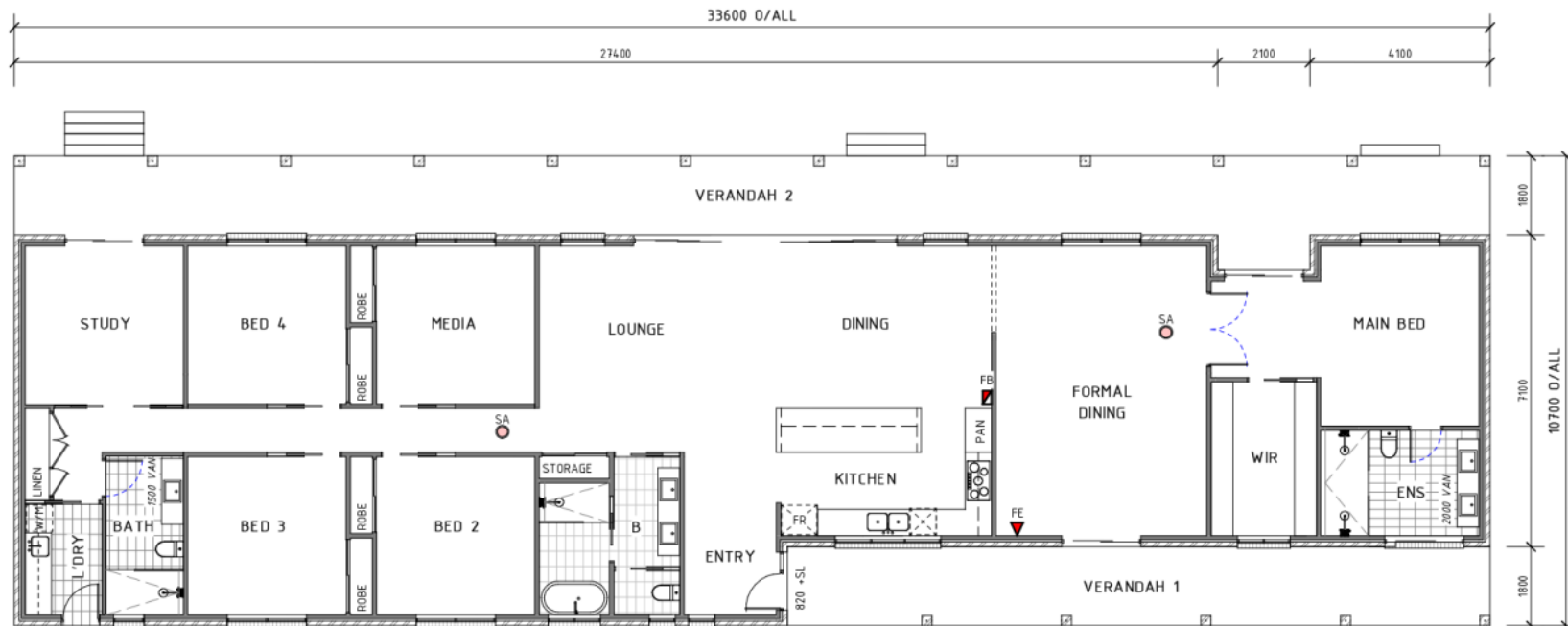
DA ISSUE



DA ISSUE



DA ISSUE



01 | EXISTING DWELLING

SCALE: 1 : 100 (A3)



THIS PLAN IS TO ACCOMMODATE THE DEVELOPMENT APPLICATION FOR THE EXISTING DWELLING AT 345 SPRING FLAT ROAD, SPRING FLAT TO BE TURNED INTO A B&B ACCOMMODATION

LEGEND:

- SA SMOKE ALARM
- FB FIRE BLANKET
- FE FIRE EXTINGUISHER

FLOOR AREAS

LIVING	269 m ²
VERANDAH 1	29 m ²
VERANDAH 2	62 m ²
TOTAL	360 m²



onpoint
BUILDING DESIGN

CONTACT DETAILS

Gabrielle Hackett
M. 0437 782 740
E. gabrielle@onpointbuildingdesign.com.au
A. 17 Church Street, Mudgee NSW 2850

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ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

Client: **SAM REECE**

Project:
345 SPRING FLAT ROAD, SPRING FLAT

Drawing Title:
PROPOSED FLOOR LAYOUT

Rev	Date	Amendment
A	19/03/21	EXISTING DWELLING TO B&B ACCOMMODATION APPROVAL

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Job Number	Revision
1132 - A1	A
Sheet 1 of 1	

EXISTING DWELLING TO B&B ACCOMMODATION APPROVAL

YURALI HOUSE MUDGEES Est 2019

Plan of Management

AGSR Escapes Trust T/A Yurali House
ABN: 94 369 008 194

Key Contacts

Contact Names: Amy Reece & Sam Reece
Phone: 0450 103 733 & 0449 769 589
Email: agsrescapes@gmail.com
Address: 345 Spring Flat Road, Spring Flat, Mudgee, NSW, 2850

Yurali House Website and Social Media

Website: www.yuralihouse.com.au
Instagram: <https://www.instagram.com/yuralihouse/>

Yurali House Business Summary

We are a 5 bedroomed homestead based on 68 acres, 10 minutes from Mudgee CBD. Currently the homestead operates as a short term rental via own channels and AirBnB. Based on successful DA approval we would like to develop a function centre on site hosting weddings and events, in addition to our short stay accommodation proposition.

Yurali House Business Goals

To establish a wedding venue which is a financially self sufficient business for Amy to manage as her primary source of income.

Yurali House Business History / Current Position

We purchased 345 Spring Flat Road in September 2019 after a 2 year property search in Mudgee. Our brief was to find a family home we could retire to in the next 20 years on a substantial (>25ac) block within 20 mins drive of the Mudgee CBD. We were initially both based in Sydney with full time jobs in Sydney we used the house as a weekend holiday home, however quickly found the potential in short term rentals and more

recently have received a high volume of enquiries for wedding and events (wedding anniversaries / 50th birthday parties / commercial photoshoots).

In June 2020 we undertook a significant internal renovation of the homestead to modernise the property; internally we have increased the amenities and upgraded the kitchen. Externally, we have invested significantly in landscaping.

This DA is designed to enable us to pursue our dream of working in a business together and living in Mudgee on a full time basis.

Target Market and Value Proposition

Within the local competition we provide a mid market offering. A blank canvas wedding venue designed at mostly servicing a local Mudgee clientele as well as taking advantage of Sydney and regional NSW demand for weddings in Mudgee.

We will provide the basics in order to host a wedding but everything else is to be provided by the client. Basics include, Venue (including amenities) , accommodation (for a 10 person wedding party), wedding arbour and seating, outdoor furniture, dinner tables and chairs, dinnerware and glassware.

The client is required to provide celebrant, catering, floristry, RSA approved bar staff and any other suppliers.

Business Operations

- Business Purpose: Wedding Venue and Short Term Accommodation
- Patronage: MAX of 150 guests (preference and desire will be for no more than 100 guests)
- Accommodation: Only the wedding party and selected guests will be allowed to stay at the property for an agreed amount of nights (not exceeding 7). Overnight stays will be for a maximum of 10 adults within the 5 bedroomed homestead. Strictly NO camping or glamping is allowed on the property.
- Hours of operation: All event activities MUST finish by 11:30pm with music finishing no later than 11.00pm and all non staying guests off the property by 12:00.
- On Site Management and Security: Business owners will be on site for the full event, ensuring all regulations are adhered too, including security records.
- Patrons are only permitted within agreed zones shown on planning application (Function area, car park, homestead garden and firepit). Wedding guests are NOT permitted to enter the homestead or any other areas of the property- signage will clearly identify these areas as non permitted access.
- Noise: We own a noise reader and are happy to comply with agreed maximum noise levels and will keep records of all events. We will inform and enforce any required noise restrictions to limit potential impact on neighbouring properties.
- Leaving the Property: All transport will be pre arranged and confirmed by the business owners in conjunction with the client, ensuring that all guests leave the property in a low impact manner to the local community. We also have supporting signage on departure.

- Security and Signage: We have signage for all key areas on site including fire assembly point, key exits and farm signage.
- Staffing: All clients must supply RSA approved bar staff if alcohol will be provided. As mentioned above, the owners (both RSA approved) will also be on site at ALL times during the event.
- Contractors: All contractors/suppliers will be approved by the business owners and must supply a valid copy of public liability insurance in advance of the event.
- Waste Management: Recycling and waste bins are provided across the site and all waste is disposed of at the Mudgee Recycling Centre within 24hrs of the end of an event by the owners of the property.
- We have a small, designated sheltered smoking area with covered ashtrays.
- Business insurance and registrations: we have all required insurances and registrations.

Key Team members

Amy Reece: 34 years old and originally born in the UK. Currently on maternity leave (Billy is 3 months old) from a senior marketing role at NewsCorp. Yurali house is designed to become Amy's full time income in the short term and will be Amy's primary focus.

Sam Reece: 34 years old and originally born in the UK. Currently the Chief Operating Officer of an online retailer based in Sydney. Currently commuting 3 days a week to Sydney and spending the rest of the week in Mudgee.

**Also a guest speaker at the 2020 Mid West Regional Council Young Entrepreneurs Conference.*

We both absolutely love Mudgee and are focused on making Yurali House a successful business, adding value to the local community and enabling a true full time move to the country to become a reality for the full family.



Traffic Impact Assessment Report

Function Centre
(Semi-Permanent Marquee)
345 Spring Flat Road
Spring Flat

(Our Reference: 35146-TIA01_0)

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date
15.03.2021

reference
35146-TIA01_0

receiver
Sam Reece
345 Spring Flat Road,
Spring Flat NSW 2850

Dear Sam,

**Traffic Impact Assessment Report
Function Centre
(Semi-Permanent Marquee)
345 Spring Flat Road
Spring Flat**

With reference to the above, please find the following Traffic Impact Assessment report regarding the proposed development at 345 Spring Flat Road, Spring Flat NSW 2850.

If you have any further enquiries regarding this matter, please contact the undersigned.

Yours faithfully
BARNSON PTY LTD



Eden Gliksman
B.Eng (Hons)
CIVIL ENGINEER





Disclaimer

This report has been prepared solely for Sam Reece (the client) in accordance with the scope provided by the client and for the purpose(s) as outlined throughout this report.

Barnson Pty Ltd accepts no liability or responsibility for or in respect of any use or reliance upon this report and its supporting material by anyone other than the client.

Project Name:	Traffic Impact Assessment Report – Function Centre (Semi-Permanent Marquee), 345 Spring Flat Road, Spring Flat
Client:	Sam Reece
Project No.	35146
Report Reference	35146-TIA01_0
Date:	15.03.2021
Revision:	Final

Prepared by:	Reviewed by:
	
Eden Gliksman B.Eng (Hons) Civil Engineer	Luke Morris B.E. MIEAust CPEng (NPER) Director

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APPENDICES

Appendix A – Site Plans



EXECUTIVE SUMMARY

Barnson has been engaged by Sam Reece to prepare a Traffic Impact Assessment (TIA) as part of the Development Application (DA) for the proposed function centre (semi-permanent marquee) at 345 Spring Flat Road, Spring Flat. This report summarises the findings of the TIA and should be read in conjunction with the DA.

The subject site is located on the northern side of Spring Flat Road and has a property area of 12.95 ha. The site contains an existing dwelling and associated outbuildings, two dams and scattered vegetation throughout.

The project will consist of the erection of two semi-permanent marquee structures (74m² and 194m²) to be used as a function centre for weddings, events and functions. In addition, an amenities block shall be provided and delineated carparking areas shall be established to support the proposed use.

The following conclusions have been drawn as a result of this assessment:

- The proposed parking provisions are compliant with the requirements prescribed by Mid-Western Regional Council's Development Control Plan.
- Spring Flat Road is currently operating at an acceptable level of service and will continue to do so once the development is operational.
- The estimated existing traffic volumes and projected future volumes on the driveway and Spring Flat Road warrant BAL and BAR turn treatments in accordance with Austroads Guide to Road Design Part 4 (2017).
- The existing driveway condition satisfies the requirements for the BAL and BAR turn treatments, and provides sufficient sight distances to both directions in accordance with Austroads Guide to Road Design Part 4a (2017).
- It has been concluded that the development is unlikely to have any significant impacts on the traffic operations of the existing local road network.

1 INTRODUCTION

1.1 Project Outline

The project will consist of the erection of two semi-permanent marquee structures (74m² and 194m²) to be used as a function centre for weddings, events and functions. In addition, an amenities block shall be provided and delineated carparking areas shall be established to support the proposed use.

1.2 Purpose and Scope

This report has been commissioned by the applicant as part of a DA for the subject site and provides an assessment of the traffic implications of the proposed development on surrounding traffic, transport and local road infrastructure.

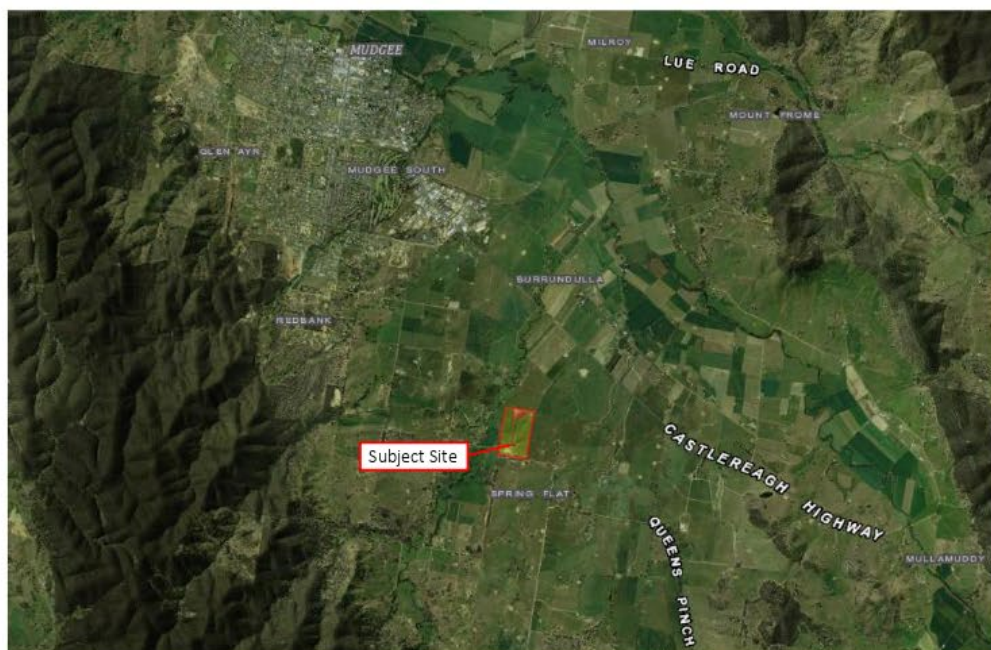
This TIA has been prepared in accordance with the RTA Guide to Traffic Generating Developments (2002) and Mid-Western Regional Council's Policies & Plans.



2 EXISTING CONDITIONS

2.1 Location and Site

The subject site of this application is Lot 6 DP 756894, known as 345 Spring Flat Road, Spring Flat. The site is located on the northern side of Spring Flat Road, around 6km south-east of the township of Mudgee. The site has an overall area of 12.95ha and currently contains a dwelling with associated outbuildings, two dams and scattered vegetation throughout.



Source: SIX Maps e-Topo, NSW Spatial Information Exchange, 2019

Figure 1 Site aerial photograph

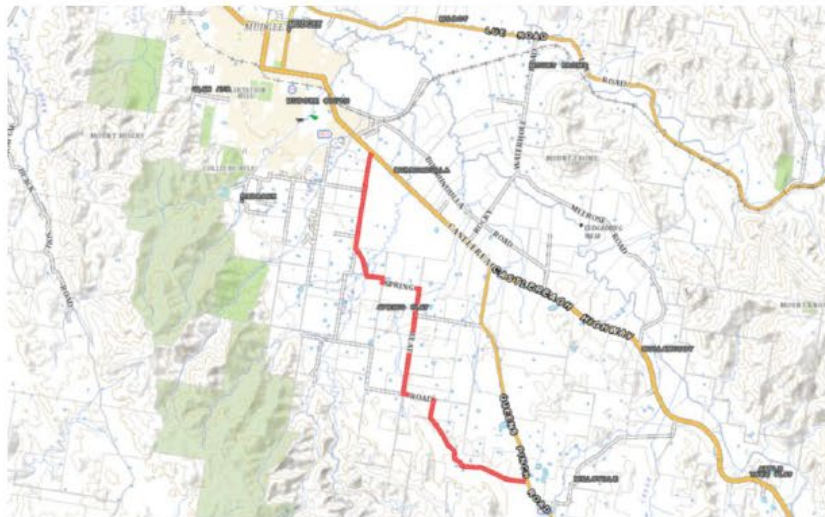
Existing site access is via a gravel driveway onto Spring Flat Road, pictured in Figure 2. At the site frontage, Spring Flat Road is unsealed in fair condition. Sight distances when exiting the driveway extend over 250m towards to east, and 170m toward the west where they are interrupted by a sharp bend in the road.



Figure 2 Existing driveway

2.2 Existing Traffic Hierarchy

The subject site is accessible only via Spring Flat Road, a long local road that runs from Sydney Road (Castlereagh Highway, B55) in the north/west to Queens Pinch Road in the south/east. Spring Flat Road services around 80 properties, characterized by small-scale primary production, scattered residential activities, tourist accommodation and wineries.



Source: SIX Maps e-Topo, NSW Spatial Information Exchange, 2021

Figure 3 Site road hierarchy



2.3 Traffic Volumes

Traffic counts for Spring Flat Road were not available at the time of this study, and existing traffic generation rates have been calculated from an estimate of demand. Spring Flat Road services approximately 40 properties, which generate traffic at a rate consistent with residential dwellings. From the RTA Guide to Traffic Generating Developments (2002), the applicable trip generation rates are 9.0 vehicles per day (vpd) with a peak of 0.85 vehicles per hour (vph) per dwelling. A summary of the existing traffic environment is provided below.

Table 1 Summary of existing traffic volumes

Daily Average (vpd)	Hourly Peak (vph)
360	34

All vehicle rates shown are for movements in both directions.

The speed limit on Spring Flat Road adjacent to the site is 100km/h, however considering the gravel surface and the sharp reverse bend in the road west of the driveway, it is expected that the actual average operating speed outside the site is significantly lower.

2.4 Public Transport

There is a school bus service operating along Spring Flat Road twice a day which passes the subject site.

2.5 Traffic Safety

Traffic accident history of the area has been obtained from the RMS website. In the five-year period between 2015 and 2019, no crashes have been recorded in the vicinity of the site.

3 PROPOSED DEVELOPMENT

As outlined in Section 1.1, the proposed development is a function centre to be used for weddings, functions and events; with a maximum capacity of 150 seats. Construction works will consist of:

- Erection of two semi-permanent pavilion structures (74m² and 194m²) in which the functions will be held. All events will be on a booking basis.
- Construction of an amenities building.
- Establishment of a carparking area with 42 available spaces, including one accessible space. The carpark shall be unformed gravel except for the accessible space which will be concrete.
- New paved area connecting the facilities for accessibility and continuous path of travel.
- Small directional and informative signage within the site.

3.1 Parking Provision Assessment

Overall, the proposal includes the provision of 42 car parking spaces including one accessible space.

With reference to the Mid-Western Regional Council's Development Control Plan Amendment 5 (2013) (the DCP), there is no specific guidance on the car parking requirements for function centres. The most relevant land use is considered to be "Places of Public Worship, Entertainment Facilities and Community Facilities", at a rate of one space per four seats or one space per 10m² of GFA, whichever is the greater. As such, the parking requirement can be calculated as:

$$150 \text{ seats} \div 4 = 37.5 \text{ parking spaces ; or}$$

$$268\text{m}^2 \div 10 = 26.8 \text{ parking spaces}$$

The proposed provision of 42 spaces exceeds both requirements, and therefore satisfies Council's DCP requirements.

3.2 Traffic Generation

The RMS Guide to Traffic Generating Developments (2002) does not offer trip generation advice for function centres or any comparable developments of a similar nature. Accordingly, the following trip generation volumes have been estimated based on the number of parking spaces available, ie assuming each of the 42 available parking spaces is utilised.

The peak volume of traffic accessing the function centre would be associated with arrivals prior to an event and departures following an event. Accordingly, it is assumed that around 90% of arrivals and departures could occur during the hour before or after an event. On this basis, the function centre is expected to generate up to **38** vehicle movements during a single peak hour.



Traffic relating to deliveries and handling of food and beverages will also be generated on days when events are held; however, these vehicle movements will occur before and after events and will not overlap with patron trips or contribute to peak traffic flows.

3.3 Spring Flat Road Analysis

The peak hourly flows for a mid-block road at various Levels of Service (LoS) are set out in Table 2 below.

Table 2 Urban road peak hour flows per direction

Level of Service	One Lane (vph)	Two Lanes (vph)
A	200	900
B	380	1400
C	600	1800
D	900	2200
E	1400	2800

Source: Guide to Traffic Generating Developments, RTA (2002)

From the available traffic counts and the projected traffic generation outlined in Section 3.2, it can be concluded that:

Table 3 Spring Flat Road peak hour flows per direction

	Peak Hourly Flow per Direction (vph)	Level of Service
Pre-development	34	A
Post-development	72	A

Therefore, no upgrades to Spring Flat Road are required.

3.4 Proposed Driveway/Intersection Analysis

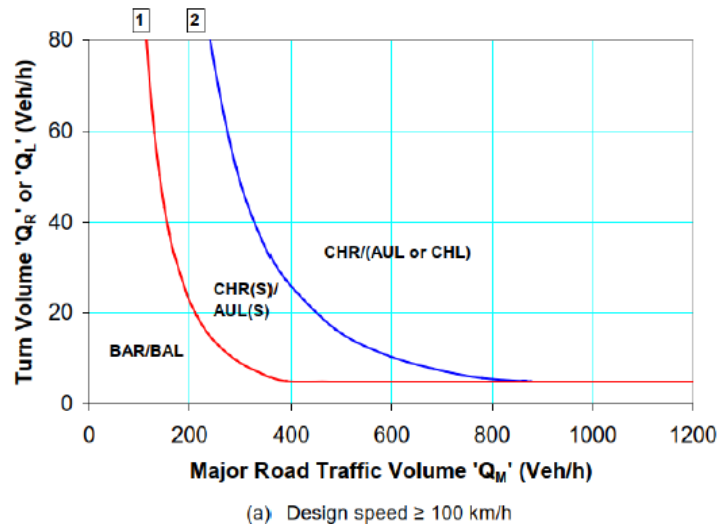
The existing residential gravel driveway is intended to be retained and utilised to cater for the proposed development.

From Sections 2.3 and 3.2, the existing and proposed peak flows are summarised below:

Table 4 Peak hour turning traffic volumes

Existing through traffic (vph)	Turning traffic (vph)
34	38

From these traffic volumes and the warrants illustrated in Figure 4 below, the appropriate turn treatments are Basic Right (BAR) / Basic Left (BAL). This arrangement is satisfied by the existing road configuration.



Source: Figure A 10, Guide to Road Design Part 4, Austroads, 2017

Figure 4 Warrants for turn treatments at unsignalised intersections

3.4.1 Sight distance review

Sight distances at the existing driveway extend over 250m towards to east, and 170m to the west where they are then interrupted by a sharp bend in the road. It is anticipated that trucks will occasionally access Spring Flat Road, both associated with the proposed development as in the case of deliveries, as well as for farming activities on nearby lots. Hence sight distances at the driveway must be assessed for both cars and trucks.

The speed limit on Spring Flat Road is 100km/h, however, it is expected that vehicles approaching from the west will actually operate at much slower speeds due to the sharp reverse curve and the loose gravel surface in this road section. From Austroads Guide to Road Design Part 3 (2016), Table 3.4, the operating speed for cars around a curve section of similar radius is only 50km/h, while truck operating speed (from Table 3.5) is 43km/h. For the purpose of analysis, the operating speed of vehicles approaching the site from the west has been conservatively taken as 60km/h, although it is expected that actual speeds would be lower still.

In accordance with Table A 12 of the Austroads Guide to Road Design Part 4A (2017), the minimum safe intersection sight distance for trucks at the site driveway is as follows:

- West (60km/h): 107m
- East (100km/h): 233m

Therefore, the existing driveway sight distances are compliant with the Austroads requirements.

3.5 Cumulative Impacts

There are no other known major developments currently being assessed by Mid-Western Regional Council in proximity to the subject site.



4 CONCLUSION

The subject site is located on the northern site of Spring Flat Road and has a property area of 12.95 ha. The site contains an existing dwelling and associated outbuildings, two dams and scattered vegetation throughout.

The project will consist of the erection of two semi-permanent marquee structures (74m² and 194m²) to be used as a function centre for weddings, events and functions. In addition, an amenities block shall be provided and delineated carparking areas shall be established to support the proposed use.

The following conclusions have been drawn as a result of this assessment:

- The proposed parking provisions are compliant with the requirements prescribed by Mid-Western Regional Council's Development Control Plan.
- Spring Flat Road is currently operating at an acceptable level of service and will continue to do so once the development is operational.
- The estimated existing traffic volumes and projected future volumes on the driveway and Spring Flat Road warrant BAL and BAR turn treatments in accordance with Austroads Guide to Road Design Part 4 (2017).
- The existing driveway condition satisfies the requirements for the BAL and BAR turn treatments.
- The existing driveway provides sufficient sight distances to both directions in accordance with Austroads Guide to Road Design Part 4a (2017).
- It has been concluded that the development is unlikely to have any significant impacts on the traffic operations of the existing local road network.

Should you require any further information or clarification regarding this matter, please do not hesitate to contact the undersigned.

Yours faithfully
BARNSON PTY LTD

A handwritten signature in black ink, appearing to read "Edén Gliksmán".

Edén Gliksmán
B.Eng (Hons)
CIVIL ENGINEER

Appendix A - Site Plans



PROPOSED SEMI-PERMANENT TENT STRUCTURES & AMENITIES BLOCK

345 SPRING FLAT ROAD, MUDGEE NSW

drawing schedule

A 00	COVER SHEET	REV 0	DATED 14.12.2020
A 01	OVERALL SITE PLAN	REV 0	DATED 14.12.2020
A 02	PART SITE PLAN	REV 0	DATED 14.12.2020
A 03	TENT FLOOR PLAN & ELEVATION	REV 0	DATED 14.12.2020
A 04	AMENITIES FLOOR PLAN & ELEVATIONS	REV 0	DATED 14.12.2020

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2019, the Plumbing Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works:

- AS1668 – Mechanical ventilation & air conditioning in buildings
- AS3000 – Electrical installations, buildings, structures & premises (known as the safe wiring rules)
- AS1428.1 – General requirements for access – buildings
- AS2890.6 – Off street parking, mandatory requirements
- AS14880 – Interior lighting – safe movement

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

For the purpose of the Building Code of Australia, Vol. 1, 2019, the development may be described as follows:

classification - BCA 'part A6'

The building has been classified as a 'Class 10' building - amenities & temporary structures

rise in stories - BCA 'part C1.2'

The building has a rise in stories of one

effective height - BCA 'schedule 3 definitions'

The building has an effective height of zero, or less than 25.0m.

type of construction required - BCA 'part A6, part C1.1 - table C1.1'

Class 10 building - 'Type C' construction. The building has been deemed 'non-conditioned'

climate zone - BCA 'schedule 3 definitions'

The building is located within climate zone 4.

proposed area of works
345 spring flat road, mudgee
lot 6, dp756894



PROPOSED SEMI-PERMANENT TENT STRUCTURES & AMENITIES BLOCK

DA ISSUE, 14.12.2020



DA ISSUE



02 part site layout

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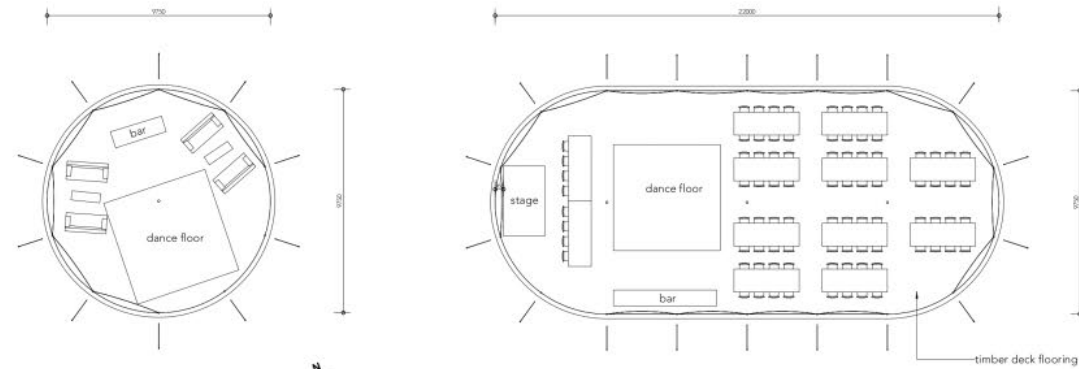


carparking:

The following schedule has been prepared in accordance with "mid western regional council's off-street parking code".

building usage	persons	rate of prov.	total
Places of Public Worship, Entertainment, Facilities, Community facilities,	150	1 space per 4 seats	37.5
total number of carparking required			39
total number of carparking provided			42

DA ISSUE



03 tents floor layout

1:100 (A1)

0 1000 2000 4000 8000

note: furniture layout indicative only



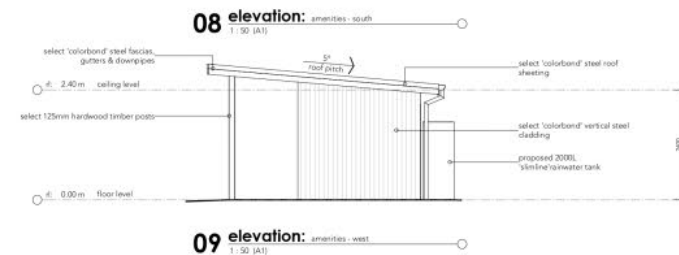
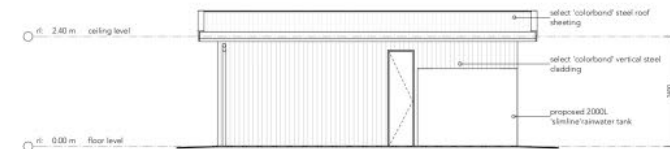
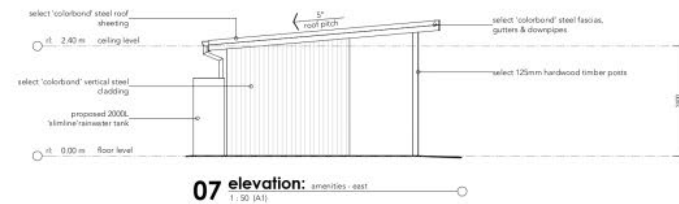
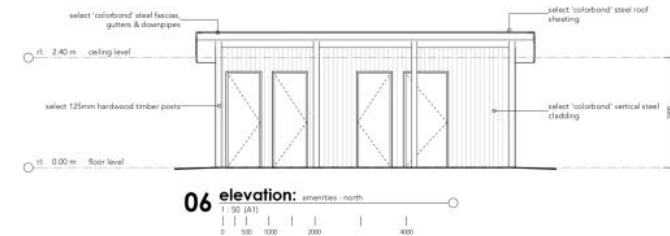
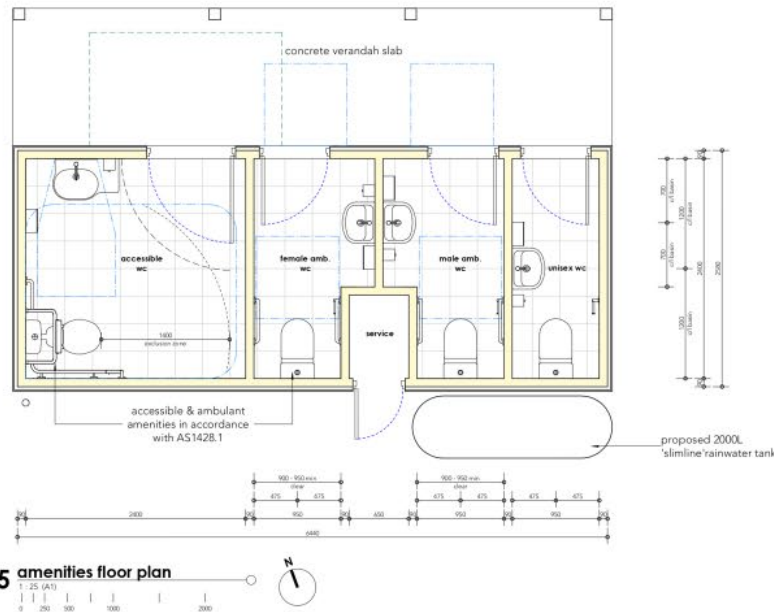
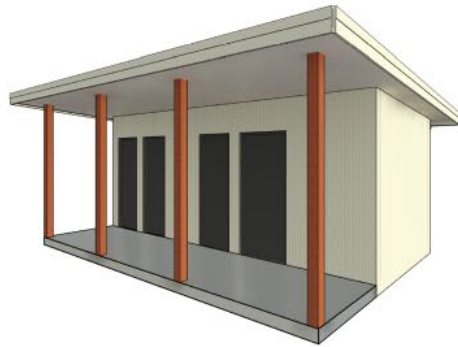
04 elevation: tent - south

1:100 (A1)

0 1000 2000 4000 8000

note: 'california' style marquee, indicative only

DA ISSUE



DA ISSUE



Visual Impact Assessment

Function Centre (Semi-
Permanent Marquee)
345 Spring Flat Road
Spring Flat

(Our Reference: 35146-VIA01_A)
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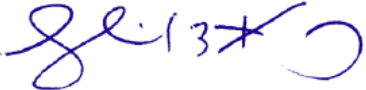




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Project Name:	Function Centre (Semi-Permanent Marquee)
Client:	Sam Reece
Project No.	35146
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Prepared by:	Reviewed by:
	
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1 INTRODUCTION

1.1 Background

Barnson Pty Ltd has been engaged by Sam Reece to prepare a Visual Impact Assessment (VIA) in support of a Development Application (DA) for a function centre (semi-permanent marquee) at 345 Spring Flat Road, Spring Flat.

The purpose of this report is to provide an assessment of the visibility and potential visual impacts of the proposal. The VIA will support the subject Development Application submission made to Mid-Western Regional Council.

This report details the result of a site and locality investigation and assessment of the landscape character and visual setting, and assess the visual impacts associated with the proposal. The report also provides an overview of landscape treatments which will assist in mitigation of potential visual impacts.

The information is provided to assist in understanding the likely impacts and how they may be managed to ensure that the positive character of the immediate area and surrounding visual landscape are not overly modified or diminished.

1.2 Proponent

The proponent for the DA is Sam Reece.

1.3 Consultant

Barnson Pty Ltd

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2 STUDY METHOD

2.1 Visual Impact Assessment (VIA)

A VIA is used to determine the value, significance and sensitivity of a landscape. The method applied to this assessment involves evaluating the visual environment pertaining to the site and using expert judgement based on landscape values.

The assessment was undertaken in the following stages:

- Objective assessment of the value of the landscape (i.e. visual quality) defined as high medium or low. This assessment considers elements such as variety, uniqueness, prominence, landform, vegetation, water forms etc;
- Determine the landscape sensitivity and its ability to absorb different types of development based on physical and environmental character;
- An assessment of viewer sensitivity change for the locality. This includes how neighbouring properties and the general locality view the landscape and the associated impacts created as a result of the development;
- Identify areas likely to be affected by the development; and
- Assessment of visual impacts and recommendations for impact mitigation. The recommendations would maintain the areas visual quality.

The above methodology is aimed to reduce the amount of subjectivity involved in the preparation of the VIA and to provide a well-rounded assessment of the impacts involved.

2.2 Guidelines and Statutory Framework

The subject site is mapped as 'Visually Sensitive Land' pursuant to Clause 6.10 of the *Mid-Western Regional Local Environmental Plan 2012* (LEP). As such, a Visual Impact Assessment has been requested by Council.

There are no specific guidelines for Visual Impacts Assessments in NSW. It is widely considered that visual impacts are mitigated through urban design, treatments and retaining visual amenity.

2.3 Definitions

Definitions for terms throughout this VIA are provided below.

2.3.1 Landscape Values

Landscape values are the principles that aid judgement of the proposal. These include the following attributes; cultural, social, environmental, emotional and aesthetic.

2.3.2 Visual Quality

Visual quality of an area is an assessment of how viewers may respond to specified scenery. High visual quality areas are those that are valued by a community for enjoyment

and the improved amenity they can create. On the contrary, low visual quality areas are of little value to the community with a preference that they be changed or improved, often through landscape treatments.

2.3.3 Visual Sensitivity

Visual sensitivity is a measure of how critically a change to the existing landscape is viewed by people from different areas. The assessment is based on the number of people affected, land use, and the distance of the viewer from the development.

For example, a significant change from a development that is not frequently seen may result in a low visual sensitivity, however its impact on a landscape may be high. Generally the following applies:

- Visual sensitivity decreases as the viewer distance increases; and
- Visual sensitivity decreases as the viewing time decreases.

Visual Sensitivity				
Land Use	Foreground	Middle Ground		Background
	0-500m	500m – 1km	1-1.5km	> 1.5km
Residential (rural or urban)	High	High	Med	Low
Tourist & Recreation	High	High	Med	Low

Table 1 – Visual Sensitivity Table

The above table is representative of direct visual sight to a development or structure. For example, if vegetation, landforms or other structures are located between a viewpoint, the sensitivity is far less. Visual sensitivity can also be related to viewer activity (i.e. a person viewing a site whilst engaged in recreational activities or a car travelling etc).

2.3.4 Visual Effect

Visual effect is the interaction between a development proposal and the existing visual environment. It is often determined as the level of visual contact or impact of a proposal against its setting or background.

There are three levels of visual effect, as follows:

- Low visual effect – This is when a proposal blends in with its surrounds due to design elements (i.e. form, materials, colour, shape etc) or when effective screening is utilised.



- Medium visual effect – this is when a proposal is visible and contrasts within its surrounds, however there is some degree of integration (i.e. good siting principles, retention of vegetation, provision of screening, appropriate colour schemes and materials etc).
- High visual effect – This is when a proposal has high visual intrusion to the surrounding landscape, with little or no screening or integration by vegetation or topography.

2.3.5 Visual Impact

Visual impact is the combined effect of visual sensitivity and visual effect. There are various combinations of visual sensitivity and visual effect that result in low, moderate and high visual impacts, which shall be discussed throughout this report.

3 EXISTING ENVIRONMENT

3.1 Land Use

The subject site is located in a rural locality characterised by small-scale primary production, scattered residential activities, tourist accommodation and wineries. The subject site is used for residential purposes with associated outbuildings.

3.2 Major Roads

The site is located to the south west of the Castlereagh Highway, with no other major roads within proximity. The site is accessed off the northern side of Spring Flat Road, which is a gravel road.

You can access the property in two directions from the Castlereagh highway, one being via Queens Pinch Road, then onto Spring Flat Road, and the other being via Spring Flat Road which connects to the Castlereagh Highway. Refer to **Figure 1** below.

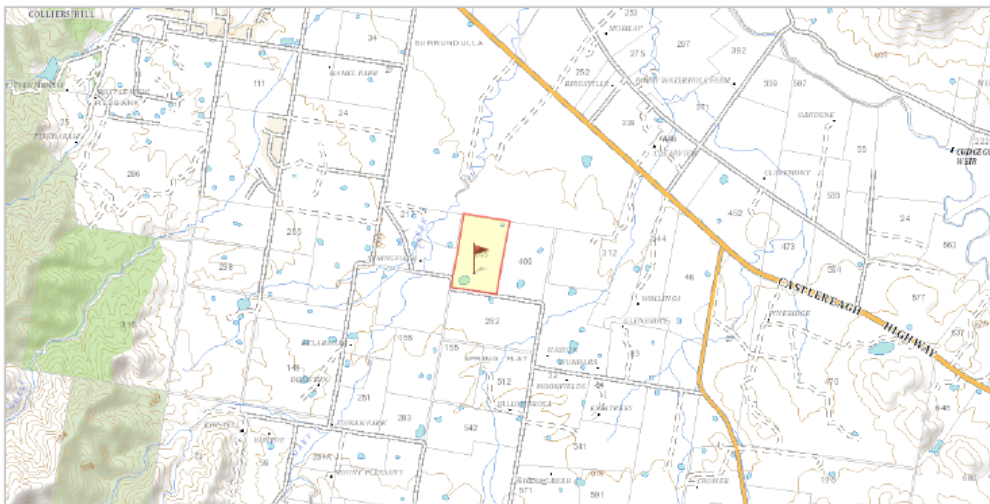


Figure 1 – Roads Map

3.3 Topography

Topography surrounding the site is relatively flat throughout. There are some landforms and elevated areas throughout, but generally the locality is flat. The majority of views to the site are either screened by excessive distance or established existing vegetation.

3.4 Vegetation

The dominant vegetation community surrounding the site are woodlands predominately consisting of established Eucalypts and other native Australian species. There are some established pine/conifer hedges that have been established over time associated with residential/agricultural land uses. There is also significant riparian vegetation established along with watercourses in the area.



4 THE PROPOSAL

4.1 The Site

The development site is known as Lot 6 DP 756894, 345 Spring Flat Road, Spring Flat. The site is located on the northern side of Spring Flat Road and is within the Mid-Western Regional Local Government Area (LGA).

A description of the land surrounding the site is provided below:

- Land to the north consists of vacant land with minimal established vegetation. There are some scattered dwellings and a winery located close to the Castlereagh Highway. The majority of land to the north is used for farming/grazing purposes;
- Land to the east consists of vacant land with minimal vegetation. There are scattered dwellings and the land is predominately used for farming/grazing purposes;
- Land to the south consists of vacant land with established vegetated areas along the roads, within properties and along the identified watercourses. There are scattered dwellings and the land is predominately use for farming/grazing purposes; and
- Land to the west contains more residential dwellings than other directions, with established vegetation throughout. There are small rural holdings in this area with scattered dwellings throughout.

The following images show the development site and its surrounds.



Plate 1 – Looking to the north from the development site

The above image shows the existing vegetation located on the subject site, predominately consisting of established Eucalypts along fence lines. There is a long strand of trees extending throughout the middle of the site from north to south.



Plate 2 – Looking to the south east from the development site

The above image shows a strand of trees located immediately to the south of the development site. These trees consist of Eucalyptus and Conifers that have been established for an extended period of time, creating a buffer.

Refer to **Figure 2** below for an assessment of the development site and established vegetation.



Figure 2 – Site Aerial showing existing vegetation

4.2 The Proposal

The development application seeks consent for a function centre (semi-permanent marquee) to be used for weddings, functions and events, utilising a vacant area of the site. The proposed development works consist of the following:



- Erection of two semi-permanent pavilion structures (74m² and 194m²) to be used for weddings, events and functions. Weekend lunches and events shall also utilise the facility. All events will be on a booking basis;
- Construction of an amenities building;
- Establishment of a carparking area with 42 available spaces, 1 being a disabled space as per AS1428. The carpark shall be unformed gravel with the exception of the disabled space which will be concrete;
- New paved area throughout for accessibility and continuous path of travel; and
- Small directional and informative signage within the site.

5 VIEWPOINT ANALYSIS

5.1 Viewpoint Analysis

This part of the VIA considers the likely impacts that development would have on the existing landscape character and visual amenity by selecting prominent accessible viewpoints within proximity to the site.

5.2 Viewpoint Selection Process

The viewpoints have been selected using the following elements:

- Landscape character types;
- Areas of high scenic value or landscape;
- Range of distances;
- Varying elevations and land forms;
- Various extent of visibility to the site; and
- Along specific routes of traffic.

The viewpoints have been carefully selected to be representative of the range of views within the study areas, with consideration to the most impacted areas in the locality. These viewpoints were determined using topographical maps, field work observations and other elements such as accesses, landscape character and traffic/vantage points.

A total of ten (10) viewpoints were recorded as part of the fieldwork process. These viewpoints were taken from publicly accessed roads/road reserves within proximity to the site. The viewpoints are areas where the development would appear most prominent, either based on the degree of exposure or number of people likely to be affected. Refer to **Figure 3** below.



Figure 3 – Viewpoints Location Map



5.3 Process of Viewpoint Analysis

Once the viewpoints were selected, photographs were taken at eye level from the viewpoints towards the subject site. It was the intention to take the photos to represent the perspective of the human eye.

The visual impact of the viewpoint was then assessed both on site and with the topographic and aerial information. Viewpoint photographs and analysis is included in the following pages, with summary tables.



Viewpoint 1		
Summary of Viewpoint		Viewpoint Description
Location	Spring Flat Road	This photograph was taken from Spring Flat Road to the south east of the site. This is an established road in a rural locality. Existing vegetation screens the site from this viewpoint. The visual sensitivity of this site is considered as <i>low</i> .
Viewing Direction	North west	
Distance to Site	630m	
Land Use	Rural	
Visual Effect	Low	
Visual Impact	Low	
		Potential Visual Impact
		From this location, views are screened via existing vegetation (grasses and trees). The proposed structure may be partially seen through the vegetation. The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>low</i> .



Viewpoint 2			
Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Spring Flat Road	This photograph was taken from Spring Flat Road south of the subject site.	From this location there are dense trees impeding the view of the site. The structure would not be visible due to this vegetation.
Viewing Direction	North east		
Distance to Site	280m		
Land Use	Rural	There is dense vegetation located within this section, consisting of established trees.	The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>low</i> .
Visual Effect	Low		
Visual Impact	Low	The visual sensitivity of this viewpoint is rated as <i>low</i> .	



Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Spring Flat Road	This photograph was taken opposite the main entrance to the site.	From this location there are dense trees impeding the view of the site. The structure would not be visible.
Viewing Direction	North		
Distance to Site	230m	There is dense vegetation located within this section, consisting of established trees.	The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>nil</i> .
Land Use	Rural		
Visual Effect	Nil	The visual sensitivity of this viewpoint is rated as <i>nil</i> .	
Visual Impact	Nil		

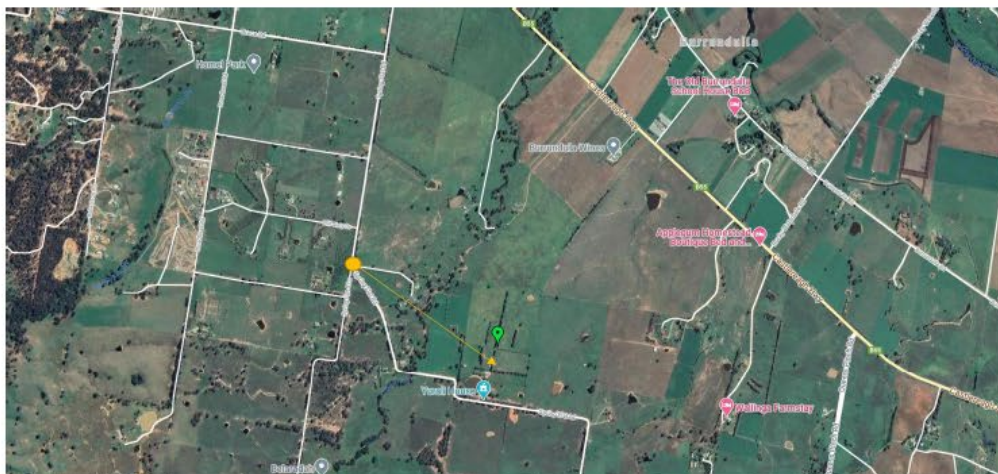


Viewpoint 4			
Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Spring Flat Road	This photograph was taken from the road reserve south east of the site. There is established vegetation and restricted views from here. The visual sensitivity of this viewpoint has been rated as <i>nil</i> .	From this location there are dense trees impeding the view of the site. The structure would not be visible. The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>nil</i> .
Viewing Direction	North west		
Distance to Site	270m		
Land Use	Rural		
Visual Effect	Nil		
Visual Impact	Nil		



Viewpoint 5

Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Spring Flat Road	This photograph was taken from Spring Flat Road near some existing dwellings. There are established tracts of vegetation between here and the site. The visual sensitivity of this viewpoint has been rated as low.	From this location views to the site are screened by existing vegetation and existing rural structures. The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>nil</i> .
Viewing Direction	East		
Distance to Site	700m		
Land Use	Rural residential		
Visual Effect	Nil		
Visual Impact	Nil		



Viewpoint 6

Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Spring Flat Road	<p>This photograph was taken from Spring Flat Road near some existing dwellings.</p> <p>There are established tracts of vegetation between here and the site.</p> <p>The visual sensitivity of this viewpoint has been rated as <i>nil</i>.</p>	<p>From this location views to the site are screened by existing vegetation and existing rural structures.</p> <p>The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>nil</i>.</p>
Viewing Direction	South east		
Distance to Site	1.02km		
Land Use	Rural residential		
Visual Effect	Nil		
Visual Impact	Nil		



Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Spring Flat Road	This photograph was taken from Spring Flat Road north east of the site.	From this location views to the site are limited due to the extensive distance and existing vegetation. The structure would not be seen from this viewpoint.
Viewing Direction	South east		
Distance to Site	1.4km	There is established riparian vegetation midway to this viewpoint from the site.	The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>low</i> .
Land Use	Rural		
Visual Effect	Low	The visual sensitivity of this viewpoint has been rated as <i>low</i> .	
Visual Impact	Low		



Viewpoint 8

Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Castlereagh Hwy	This photograph was taken from the Castlereagh Highway, north of the site. There are rural lands in the foreground with some scattered vegetation. The visual sensitivity has been rated as low from this viewpoint.	From this location, the site may be able to be seen, however considering the 1.7km distance, visually it would be limited. Further, existing vegetation provides buffering. The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>low</i> .
Viewing Direction	South		
Distance to Site	1.7km		
Land Use	Rural residential		
Visual Effect	Low		
Visual Impact	Low		



Viewpoint 9			
Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Castlereagh Hwy	This photograph was taken from the Castlereagh Highway. The foreground is used for grazing/cropping purposes with some scattered vegetation. The visual sensitivity has been rated as <i>low</i> from this viewpoint.	From this location views towards the site are limited due to extensive setbacks distances and vegetation between the viewpoint and the site. The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>low</i> .
Viewing Direction	South west		
Distance to Site	1.62km		
Land Use	Rural		
Visual Effect	Low		
Visual Impact	Low		



Viewpoint 10

Summary of Viewpoint		Viewpoint Description	Potential Visual Impact
Location	Castlereagh Hwy	<p>This photograph was taken from the Castlereagh Highway. There are earth banks along the roadway screening any visual aspect.</p> <p>The visual sensitivity has been rated as <i>nil</i> from this viewpoint.</p>	<p>From this location views of the site are limited due to the earth banks along the roadway and existing vegetation in between.</p> <p>The visual effect has been assessed as <i>low</i> so the resulting visual impact is <i>nil</i>.</p>
Viewing Direction	South west		
Distance to Site	1.65km		
Land Use	Rural		
Visual Effect	Nil		
Visual Impact	Nil		

5.4 Overview of Viewpoint Analysis

The viewpoints are representative of the worst case scenario. For each viewpoint, the potential visual impact was analysed through the use of topographic maps/imagery and on site analysis.

The visual sensitivity and visual effect of each viewpoint has been assessed which results in an overall visual impact for the viewpoint (refer to **Table 2** below). "Nil" in this analysis means that there is no visual impact due to the proposed structure not being seen from that viewpoint.

Of the ten (10) viewpoints, the proposal may be visible from a total of three (3) of the viewpoints, being viewpoints 1, 8 and 9. Of those three (3) viewpoints from which the proposal would be visible, all of these have been assessed as having a low visual impact. This is due to the large separation distances, existing vegetation, landforms and existing developments assisting in buffering the visual connectivity of the structure.

It is noted that visual impacts associated with the proposed development are generally higher during the construction phase due to the extra vehicles and machinery on the site. It is expected that the ongoing use of the development would be mitigated over time via the existing vegetation/land forms that will continue grow overtime.

The recommendations of this report seek to avoid, reduce and where possible remedy adverse visual effects arising from the proposed development.

Viewpoint	Visual Sensitivity	Visual Effect	Potential Visual Impact
VP01	LOW	LOW	LOW
VP02	LOW	LOW	LOW
VP03	NIL	NIL	NIL
VP04	NIL	NIL	NIL
VP05	NIL	NIL	NIL
VP06	NIL	NIL	NIL
VP07	LOW	LOW	LOW
VP08	LOW	LOW	LOW
VP09	LOW	LOW	LOW
VP10	NIL	NIL	NIL

Table 2 – Viewpoint Analysis

Please note that the Viewpoint Analysis above is based on the visibility assessment criteria outlines in **Section 2** of this report.



6 VISUAL IMPACT ASSESSMENT

6.1 Assessment of Visual Impacts

This section of the VIA provides an overview of the potential visibility of the development from local areas surrounding the site. It is important to note that this assessment is not an exhaustive description of the visibility of the development from all areas in this locality. It is intended to provide an overall assessment of the potential visual impact of areas that would potentially be affected by the development proposal.

The existing character of the area is dominated by rural land uses, with scattered residential dwellings. The locality is generally flat throughout, and there are vegetated areas established along road reserves, within properties and along identified watercourses. Further, the development is fairly isolated, with large distances to nearby receptors or visually available areas. Given the established vegetation and large setback distances, and recommendations provided in this report, it is likely that there will be little to no impact upon the existing landscape character of the area if the development were to proceed.

There would be distant views from the Castlereagh Highway, given that the land in between is predominately vacant and used for rural/agricultural grazing purposes. However, the distance from the subject site to the Highway is approximately 1.5km, which to the naked eye is a considerable distance that is unlikely to trigger any significant visual intrusion. Therefore, the setbacks to the highway and nearby receptors in which the proposed development enjoys, would not be contributing any new or contrasting elements to the character of the locality.

Night lighting is likely to be required for the operation of the proposed development. It is likely that this will appear in keeping with existing lighting from vehicular traffic, farming and residential land uses.

The proposal is likely to be views as a continuation of the existing residential dwelling locality on the site. Therefore, as chosen area on the site is already disturbed, it is our determination that the visual impacts from public domain areas are acceptable.

7 MITIGATION METHODS

7.1 Incorporated Mitigation Methods

Methods that are either existing or proposed to be incorporated on the site for mitigating potential visual impacts include the following:

- The built form of the proposed buildings are of similar scale to surrounding residential and agricultural land uses;
- It is recommended that building materials be selected to reduce colour contrast and blend and new and existing structures, as far as possible, into the surrounding landscape;
- The existing vegetation established on the site and in the locality are recommended to be retained and supplementary planting incorporated where possible (in accordance with the screen planting principles below);
- Retention of trees surrounding the site to assist in fragmenting views of the proposed development.

7.2 Screen Planting Principles

The following principles apply to screen planting:

- Foreground visual planting may be undertaken in areas surrounding the proposed development site;
- The use of endemic flora species which integrate with the existing landscape character whilst providing habitat for fauna is recommended;
- Planting should aim to fragment views instead of blocking completely.

The adoption of these recommendations can assist considerably in ensuring that the proposal contributes positively to the visual quality and character of the area.



8 CONCLUSION

8.1 Summary of Visual Impacts

The objective of this Visual Impact Assessment is not to determine whether the proposal is visible or not, but rather to determine how the proposal will impact on existing visual amenity, landscape character and scenic quality. If there is potential for negative impacts, it must be investigated and determined how this impact can be mitigated to the extent that the impact is reduced to an acceptable level.

The existing landscape character is a mix of rural farming, residential development and some scattered wineries. Predominately, however, the locality consist of vacant lands. The scale and built form of the proposal is small compared to other developments in the area supporting those land uses.

The proposal is well sited in an area that already creates visual screening/buffering. The proposal is not immediately visible from nearby residential receptors and given the separation distances, would not be distinguished separately to existing developments on the site.

The recommended mitigation measures have been suggested to reduce visual impact further so the proposed development could be undertaken whilst maintaining the character of the locality, and have a negligible visual impact on the surrounding visual landscape.

9 REFERENCES

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Appendix A - Development Plans

Noise Impact Assessment

Function Centre
345 Spring Flat Road
Spring Flat, NSW

Prepared for: Barnson Pty Ltd
March 2021
MAC211298-01RP1D1



Document Information

Noise Impact Assessment

Function Centre

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1 Introduction

Muller Acoustic Consulting Pty Ltd (MAC) has been commissioned by Barnson Pty Ltd (Barnson) to prepare a Noise Impact Assessment (NIA) for the proposed Function Centre (the 'project'), to be located at Oakey Corner, 345 Spring Flat Road, Spring Flat, NSW.

This NIA has been prepared to address a request for information from Mid-Western Regional Council (MWRC). Specifically, Council has requested that:

An acoustic assessment is to be provided to Council, prepared by a suitably qualified consultant. The proposal seeks to provide music associated with the function centre and it is also noted that the proposed tents can be modified to include 'open sides'. Whilst the Statement of Environmental Effects refers to current amenity noise levels of 45dB at Night and a maximum noise level of 86dB during functions which would be restricted by the proponents, it is considered that the assessment within the Statement of Environmental Effects fails to consider the form of construction of the proposed development, how the source sound level of 86dB has been determined (i.e. from bands only including PA systems within the tents, from movement of up to 150 people both inside and outside the tents and amenities etc.), nor how noise impacts would be effectively managed/restricted by the proponents during functions.

This assessment has been completed in accordance with the following policies and guidelines:

- Environment Protection Authority (EPA) 2017, NSW Noise Policy for Industry (NPI);
- The Independent Liquor and Gaming Authority (ILGA) criteria related to licensed premises;
- Australian Standard AS 1055:2018 - Acoustics - Description and measurement of environmental noise - General Procedures;
- Association of Australasian Acoustical Consultants (AAAC) - Consultants Guideline for Report Writing, 2017;
- Association of Australasian Acoustical Consultants (AAAC) – Licensed Premises Noise Assessment Technical Guideline, 2019; and
- International Standard ISO 9613:1993 - Acoustics - Attenuation of sound during propagation outdoors.

A glossary of terms, definitions and abbreviations used in this report is provided in **Appendix A**.

1.1 Project Background

The project proposes to establish a function centre that will primarily consist of a two semi-permanent marquee structures and a amenities facility to accommodate functions such as weddings and social gatherings of up to 150 patrons. Key noise sources from the project include the performance of live music by soloist, duets, DJs or bands and patron noise. The proposed plans of the function centre are provided in **Appendix B** (Barnson Pty Ltd, 2020).

MAC understands that live performances from small bands and DJs would occur within both marquees, which are constructed of concrete pier footings, steel framing and open walls. The roof shall be made from a weatherproof fabric or plastic material.

1.2 Receiver Review

A review of receivers in close proximity to the project has been completed and are summarised in **Table 1**. **Figure 1** provides a locality plan showing the position of these receivers in relation to the project. Receiver heights were set to 1.5m above relative ground level for ground floor receivers. The closest residential receiver is a single storey building which is part of the Oakey Corner homestead and function centre and will hence not be assessed as part of this report.

Table 1 Receiver Locations				
Receiver	MGA56 Coordinates		Receiver Height	Receiver Type
	Easting	Northing		
R1	182948	6383307	1.5m	Rural Residential
R2	181751	6383603	1.5m	Rural Residential
R3	181668	6383558	1.5m	Rural Residential
R4	181835	6383990	1.5m	Rural Residential
R5	183249	6383765	1.5m	Rural Residential



FIGURE 1
LOCALITY PLAN
MAC211298-01
SPRING FLATS FUNCTION
CENTRE

KEY

-  L1-Logger location
-  Receivers
-  Site Boundary



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2 Noise Policy and Guidelines

2.1 Noise Policy for Industry

The EPA released the Noise Policy for Industry (NPI) in October 2017 which provides a process for establishing noise criteria for consents and licenses enabling the EPA to regulate noise emissions from scheduled premises under the Protection of the Environment Operations Act 1997.

The objectives of the NPI are to:

- provide noise criteria that is used to assess the change in both short term and long-term noise levels;
- provide a clear and consistent framework for assessing environmental noise impacts from industrial premises and industrial development proposals;
- promote the use of best-practice noise mitigation measures that are feasible and reasonable where potential impacts have been identified; and
- support a process to guide the determination of achievable noise limits for planning approvals and/or licences, considering the matters that must be considered under the relevant legislation (such as the economic and social benefits and impacts of industrial development).

The policy sets out a process for industrial noise management involving the following key steps:

1. Determine the Project Noise Trigger Levels (PNTLs) (ie criteria) for a development. These are the levels (criteria), above which noise management measures are required to be considered. They are derived by considering two factors: shorter-term intrusiveness due to changes in the noise environment; and maintaining the noise amenity of an area.
2. Predict or measure the noise levels produced by the development with regard to the presence of annoying noise characteristics and meteorological effects such as temperature inversions and wind.
3. Compare the predicted or measured noise level with the PNTL, assessing impacts and the need for noise mitigation and management measures.
4. Consider residual noise impacts - that is, where noise levels exceed the PNTLs after the application of feasible and reasonable noise mitigation measures. This may involve balancing economic, social and environmental costs and benefits from the proposed development against the noise impacts, including consultation with the affected community where impacts are expected to be significant.

5. Set statutory compliance levels that reflect the best achievable and agreed noise limits for the development.
6. Monitor and report environmental noise levels from the development.

2.1.1 Project Noise Trigger Levels (PNTL)

The policy sets out the procedure to determine the PNTLs relevant to an industrial development. The PNTL is the lower (ie, the more stringent) of the **Project Intrusiveness Noise Level (PINL)** and **Project Amenity Noise Level (PANL)** determined in accordance with Section 2.3 and Section 2.4 of the NPI.

2.1.2 Rating Background Level (RBL)

The Rating Background Level (RBL) is a determined parameter from noise monitoring and is used for assessment purposes. As per the NPI, the RBL is an overall single figure background level representing each assessment period (day, evening and night) over the noise monitoring period. The measured RBLs relevant to the project are contained in **Section 3**.

2.1.3 Project Intrusiveness Noise Level (PINL)

The PINL ($L_{Aeq}(15min)$) is the RBL + 5dB and seeks to limit the degree of change a new noise source introduces to an existing environment. Hence, when assessing intrusiveness, background noise levels need to be measured.

Background noise levels need to be determined before intrusive noise can be assessed. The NPI states that background noise levels to be measured are those that are present at the time of the noise assessment and without the subject development operating. For the assessment of modifications to existing premises, the noise from the existing premises should be excluded from background noise measurements. It is noted that the exception is where the premises has been operating for a significant period of time and is considered a normal part of the acoustic environment; it may be included in the background noise assessment under the following circumstances:

- the development must have been operating for a period in excess of 10 years in the assessment period/s being considered and is considered a normal part of the acoustic environment; and,
- the development must be operating in accordance with noise limits and requirements imposed in a consent or licence and/or be applying best practice.

Where a project intrusiveness noise level has been derived in this way, the derived level applies for a period of 10 years to avoid continuous incremental increases in intrusiveness noise levels. This approach is consistent with the purpose of the intrusiveness noise level to limit significant change in the acoustic environment. The purpose of the project amenity noise level is to moderate against background noise creep.

2.1.4 Project Amenity Noise Level (PANL)

The PANL is relevant to a specific land use or locality. To limit continuing increases in intrusiveness levels, the ambient noise level within an area from all combined industrial sources should remain below the recommended amenity noise levels specified in Table 2.2 (of the NPI). The NPI defines two categories of amenity noise levels:

- **Amenity Noise Levels (ANL)** – are determined considering all current and future industrial noise within a receiver area; and
- **Project Amenity Noise Level (PANL)** – is the recommended level for a receiver area, specifically focusing the project being assessed.

Additionally, Section 2.4 of the NPI states: “to ensure that industrial noise levels (existing plus new) remain within the recommended amenity noise levels for an area, a project amenity noise level applies for each new source of industrial noise as follows”:

PANL for new industrial developments = recommended **ANL** minus 5dBA.

The following exceptions apply when deriving the PANL:

- areas with high traffic noise levels;
- proposed developments in major industrial clusters;
- existing industrial noise and cumulative industrial noise effects; and
- greenfield sites.

The NPI states with respect to high traffic noise areas:

The level of transport noise, road traffic noise in particular, may be high enough to make noise from an industrial source effectively inaudible, even though the LAeq noise level from that industrial noise source may exceed the project amenity noise level. In such cases the project amenity noise level may be derived from the LAeq, period(traffic) minus 15 dB(A).

Where relevant this assessment has considered influences of traffic with respect to amenity noise levels (ie areas where existing traffic noise levels are 10dB greater than the recommended amenity noise level).

The recommended amenity noise levels as per Table 2.2 of the NPI are reproduced in **Table 2**.

Table 2 Amenity Criteria			
Receiver Type	Noise Amenity Area	Time of day	Recommended amenity noise level dB LAeq(period)
Residential	Rural	Day	50
		Evening	45
		Night	40
	Suburban	Day	55
		Evening	45
		Night	40
	Urban	Day	60
		Evening	50
		Night	45
Hotels, motels, caretakers' quarters, holiday accommodation, permanent resident caravan parks.	See column 4	See column 4	5dB above the recommended amenity noise level for a residence for the relevant noise amenity area and time of day
School Classroom	All	Noisiest 1-hour period when in use	35 (internal) 45 (external)
Hospital ward			
- internal	All	Noisiest 1-hour	35
- external	All	Noisiest 1-hour	50
Place of worship			
- internal	All	When in use	40
Passive Recreation	All	When in use	50
Active Recreation	All	When in use	55
Commercial premises	All	When in use	65
Industrial	All	When in use	70

Notes: The recommended amenity noise levels refer only to noise from industrial noise sources. However, they refer to noise from all such sources at the receiver location, and not only noise due to a specific project under consideration. The levels represent outdoor levels except where otherwise stated.

Types of receivers are defined as rural residential; suburban residential; urban residential; industrial interface; commercial; industrial – see Table 2.3 and Section 2.7 of the NPI.

Note: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

2.1.5 Maximum Noise Assessment Trigger Levels

The potential for sleep disturbance from maximum noise level events from a project during the night-time period needs to be considered. The NPI considers sleep disturbance to be both awakenings and disturbance to sleep stages.

Where night-time noise levels from a development/premises at a residential location exceed the following criteria, a detailed maximum noise level event assessment should be undertaken:

- LAeq(15min) 40dB or the prevailing RBL plus 5dBA, whichever is the greater, and/or
- LAmax 52dB or the prevailing RBL plus 15dBA, whichever is the greater.

A detailed assessment should cover the maximum noise level, the extent to which the maximum noise level exceeds the rating background noise level, and the number of times this happens during the night-time period.

Other factors that may be important in assessing the impacts on sleep disturbance include:

- how often the events would occur;
- the distribution of likely events across the night-time period and the existing ambient maximum events in the absence of the development;
- whether there are times of day when there is a clear change in the noise environment (such as during early morning shoulder periods); and
- current understanding of effects of maximum noise level events at night.

2.2 Independent Liquor and Gaming Authority (ILGA)

The NSW EPA's Noise Guide for Local Government (NGFLG) (2013) provides criteria related to licensed premises. The ILGA criteria are reproduced from NGFLG below and have been adopted as the principal criteria for this assessment:

'The LA10 noise level emitted from the licensed premises shall not exceed the background noise level in an Octave Band Centre Frequency (31.5Hz – 8kHz inclusive) by more than 5dB between 7:00am and 12:00midnight at the boundary of any affected residence.'

The LA10 noise level emitted from the licensed premises shall not exceed the background noise level in an Octave Band Centre Frequency (31.5Hz – 8kHz inclusive) between 12:00midnight and 7:00am at the boundary of any affected residence.'

Notwithstanding compliance with the above, the noise from the licensed premises shall not be audible within any habitable room in any residential premises between the hours of 12:00midnight and 7:00am.'

3 Noise Criteria

3.1 Background Noise Environment

3.1.1 Unattended Noise Monitoring

To quantify the existing background noise environment of the area, unattended noise monitoring was conducted at one location representative of the ambient environment surrounding the project site. The selected monitoring location is shown in **Figure 1** and is considered representative of surrounding residential receivers as per Fact Sheet B1.1 of the NPI.

The unattended noise survey was conducted in general accordance with the procedures described in Australian Standard AS 1055:2018, "Acoustics – Description and Measurement of Environmental Noise".

The measurements were carried out using one Svantek 971 noise analyser (L1) from Wednesday 24 February 2021 to Friday 5 March 2021.

Observations on-site identified the surrounding locality was typical of a rural environment, with wildlife, environmental and distant farm sources audible. Calibration of all instrumentation was checked prior to and following measurements. Drift in calibration did not exceed ± 0.5 dBA. All equipment carried appropriate and current NATA (or manufacturer) calibration certificates.

Data affected by adverse meteorological conditions have been excluded from the results in accordance with methodologies provided in Fact Sheet A4 of the NPI. Residential receptors situated in the surrounding area have been classified under the EPA's rural amenity category. This criteria is used in conjunction with the intrusiveness criteria to determine the limiting criteria. The results of long-term unattended noise monitoring are provided in **Table 3**. The noise monitoring charts for the background monitoring assessment are provided in **Appendix C**.

Table 3 Background Noise Monitoring Summary

Location	Measured background noise level, RBL, dBA			Measured dB LAeq		
	Day	Evening	Night	Day	Evening	Night
	7am to 6pm	6pm to 10pm	10pm to 7am	7am to 6pm	6pm to 10pm	10pm to 7am
L1	35 (28) ¹	30 (26) ²	30 (17) ²	48	40	36

Note: Excludes periods of wind or rain affected data. Meteorological data obtained from the Bureau of Meteorology weather station Mudgee Airport AWS 32.5628°S 149.6149°E 471m AMSL.

Note 1: As per NPI Guidance the minimum RBL for daytime is 35dBA, bracketed value represents measured value.

Note 2: As per NPI Guidance the minimum RBL for the evening and night period is 30dBA, bracketed value represents measured value.

3.2 Operational Noise Criteria

3.2.1 Project Intrusiveness Noise Levels

The Project Intrusiveness Noise Levels (PINLs) for the project are presented in **Table 4** and have been determined based on the RBL +5dBA.

Table 4 Intrusiveness Noise Levels			
Receiver	Period ¹	RBL dB LA90	PINL dB LAeq(15min)
Residential	Day	35	40
	Evening	30	35
	Night	30	35

Note: As per Section 2.1 of the NPI, Intrusiveness Noise Levels only apply to residences.

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

3.2.2 Project Amenity Noise Levels

The Project Amenity Noise Levels (PANLs) for residential receivers and other receiver types (ie non-residential) potentially affected by the project are presented in **Table 5**.

Table 5 Amenity Noise Levels and Project Amenity Noise Levels					
Receiver Type	Noise Amenity Area	Assessment Period ¹	Recommended ANL dB LAeq(period) ²	PANL dB LAeq(period)	PANL dB LAeq(15min) ³
Residential	Rural	Day	50	50	53
		Evening	45	45	48
		Night	40	40	43

Note 1: Day – the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening – the period from 6pm to 10pm; Night – the remaining periods.

Note 2: Recommended amenity noise levels as per Table 2.2 of the NPI.

Note 3: Includes a +3dB adjustment to the amenity period level to convert to a 15-minute assessment period as per Section 2.2 of the NPI.

3.2.3 Project Noise Trigger Levels

The Project Noise Trigger Levels (PNTLs) are the lower of either the PINL or the PANL. **Table 6** presents the derivation of the PNTLs in accordance with the methodologies outlined in the NPI.

Table 6 Project Noise Trigger Levels				
Receiver	Period ¹	PINL dB LAeq(15min)	PANL dB LAeq(15min)	PNTL dB LAeq(15min)
Receiver	Day	40	53	40
	Evening	35	48	35
	Night	35	43	35

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

3.2.4 Maximum Noise Assessment Trigger Levels

The maximum noise trigger levels shown in **Table 7** are based on night time RBLs and trigger levels as per Section 2.5 of the NPI. The trigger levels will be applied to transient noise events that have the potential to cause sleep disturbance.

Table 7 Maximum Noise Assessment Trigger Levels			
Residential Receivers (R1-R3)			
LAeq(15min)		LAmax	
40dB LAeq(15min) or RBL + 5dB		52dB LAmax or RBL + 15dB	
Trigger	40	Trigger	52
RBL 30+5dB	35	RBL 30+15dB	45
Highest	40	Highest	52

Note: Monday to Saturday; Night 10pm to 7am. On Sundays and Public Holidays; Night 10pm to 8pm.

Note: As per Section 2.5 of the NPI, the highest of the two criteria are adopted as the trigger level.

3.3 Independent Liquor and Gaming Authority (ILGA) Criteria

The ILGA criteria for the period up to midnight has been derived by analysing the single octave LA90 statistical levels from the unattended noise monitoring data. The periods analysed were 7am to 12am from Wednesday 24 February 2021 to Friday 5 March 2021. **Table 8** reproduces the adopted ILGA noise criteria.

Table 8 ILGA Criteria									
LA10 Noise Criteria, Octave Band Centre Frequency (Hz), dBA									
	31.5	63	125	250	500	1 k	2 k	4 k	8 k
7:00am – 12:00am									
Octave Background (LA90)	-9	3	9	5	13	18	16	18	7
LA10 criteria (background +5dB)	0	8	14	10	18	23	21	23	12

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4 Modelling Methodology

A computer model was developed to quantify project noise emissions to neighbouring receivers for typical operations. DGMR (iNoise, Version 2021.0) noise modelling software was used to quantify noise emissions from typical construction activities and operations. iNoise is a new intuitive and quality assured software for industrial noise calculations in the environment. 3D noise modelling is considered industry best practice for assessing noise emissions from projects.

The model incorporated a three-dimensional digital terrain map giving all relevant topographic information used in the modelling process. Additionally, the model uses relevant noise source data, ground type, attenuation from barrier or buildings and atmospheric information to predict noise levels at the nearest potentially affected receivers. Where relevant, modifying factors in accordance with Fact Sheet C of the NPI have been applied to calculations.

The model calculation method used to predict noise levels was in accordance with ISO 9613-1 'Acoustics - Attenuation of sound during propagation outdoors. Part 1: Calculation of the absorption of sound by the atmosphere' and ISO 9613-2 'Acoustics - Attenuation of sound during propagation outdoors. Part 2: General method of calculation' including corrections for meteorological conditions using CONCAWE¹. The ISO 9613 standard from 1996 is the most used noise prediction method worldwide. Many countries refer to ISO 9613 in their noise legislation. However, the ISO 9613 standard does not contain guidelines for quality assured software implementation, which leads to differences between applications in calculated results. In 2015 this changed with the release of ISO/TR 17534-3. This quality standard gives clear recommendations for interpreting the ISO 9613 method. iNoise fully supports these recommendations. The models and results for the 19 test cases are included in the software.

¹ Report no. 4/18, 'the propagation of noise from petroleum and petrochemical complexes to neighbouring communities', Prepared by C.J. Manning, M.Sc., M.I.O.A. Acoustic Technology Limited (Ref.AT 931), CONCAWE, Den Haag May 1981

4.1 Sound Power Levels

4.1.1 External Patron Noise

Section 2.6 of the Licensed Premises Noise Assessment Technical Guideline (AAAC) states with respect to Outdoor Areas (eg Beer Gardens) the following:

The prediction of source noise levels of medium to large outdoor areas (e.g. 20-200 patrons) remains the least conclusive area of research. Crowd noise levels do not always appear to be directly related to crowd size, and the presence of alcohol or a celebratory atmosphere are likely to be important factors.

Research in this area has been undertaken by acoustic professionals including AAAC Member Firms listed in the bibliography.

The research has shown that noise levels are not directly related to crowd sizes, particularly for larger numbers. The area occupied by the crowd and distance from the venue will require different adjustments in each situation. An Acoustical consultant will need to assess each situation carefully in order to determine noise egress.'

The sound power levels for conversations modelled for the project are generally consistent with Appendix B of the Licensed Premises Noise Assessment Technical Guideline (AAAC) for vocal efforts considered representative of weddings and party events. It is noted that the project venue is also likely to be influenced by the Lombard effect (ie the involuntary tendency of talkers to increase their vocal effort when speaking in a noisy environment to enhance the audibility of their voice). Fifteen groups of four patrons talking with low level music (both internally and externally of the marquees) were modelled for the day, evening and night period. This represents approximately 40% all patrons talking simultaneously and is consistent with findings of the Licenced Premises Noise Assessment Technical Guideline (AAAC).

4.1.2 Amplified Music Noise

Amplified music for the assessment was modelled to occur under the marquees. The sound power levels for the project are recommended to consist of a DJ, trio/duet or medium level amplified music (ie ipod music and speakers). Sound power levels for amplified music have been sourced from the MAC measurement database and are listed in **Table 9**. Larger band (ie rock bands) are not recommended for the project.

4.1.3 Other Residual Sources

External patron noise and amplified music breakout are acoustically significant to the project. Notwithstanding, combined emissions from patron vehicles may coincide with patron and amplified emissions. Therefore, these sources have been included in the noise assessment to represent a comprehensive approach in quantifying emissions from all possible sources. The assessment assumed 50% of the total 42 car spaces may be occupied in one 15-minute assessment period (ie 21 vehicles).

Table 9 presents the sound power levels for each source assessed in this report.

Table 9 Sound Power Levels										
Item	LA10 Octave Band Sound Power Level									Total
	31.5	63	125	250	500	1000	2000	4000	8000	dBA
Operational Assessment (LAeq(15min))										
Music (DJ/Trio/Duet) (x1)	41	73	77	83	86	89	89	85	74	94
Group of 4 patrons and low-level amplified music (x15 groups) ²	36	48	53	59	65	64	62	55	58	70
Light vehicles (x21) ³	45	52	62	59	67	66	68	61	54	73
Food truck ⁴	35	40	61	71	73	72	69	63	52	78
Operational Assessment (LA10) ¹										
Music (DJ/Trio/Duet) (x1)	44	76	80	86	89	92	92	88	77	97
Group of 4 patrons and low-level amplified music (x15 groups) ²	39	51	56	62	68	67	65	58	61	73
Sleep Disturbance Assessment (LAmax)										
Patron Shouting (x1) ⁵	45	62	73	80	85	87	84	78	87	92

Note 1: Source - MAC database LA10 to LAeq of 3dBA.

Note 2: Sound power per group of 4 individuals and low level background music.

Note 3: Sound power per light vehicle. Modelled for 25% of a 15-minute period to represent patrons arriving/departing.

Note 4: Food truck assumed to be in operation 25% of the time.

Note 5: Source M Hayne et al – Prediction of Noise from Small to Medium Sized Crowds – AAS Paper Number 133 presented at AAS Conference November 2011.

Three operational scenarios have been developed for the assessment of the project. These include:

- **Scenario 1:** Operational Noise Emissions – Sources from **Table 9** include: Live music, patron noise, catering van and light vehicles. These sources were modelled over a 15-minute period to address NPI requirements;
- **Scenario 2:** Music Emissions – Sources from **Table 9** include: Live music. This scenario was completed to assess entertainment noise against the relevant ILGA criteria; and
- **Scenario 3:** Maximum Noise Level Assessment – Sources from **Table 9** include: Shouting and car door slamming in the vicinity of the project car park. This scenario was completed to address potential sleep disturbance issues (applicable after 10pm) and assessed L_{Amax} events (ie maximum noise events).

All scenarios were completed for each assessment period assuming the following meteorological conditions:

- Daytime: Calm meteorological conditions (no wind);
- Evening: Noise enhancing winds at 3m/s in all directions;
- Night: F Class temperature gradient and 2m/s drainage winds.

Taking into account noise enhancing meteorological conditions, the modelling results should be considered as a worst-case assessment for the project.

Table 10 provides a summary of project noise sources for each scenario and the assessment period in which they propose to occur.

Table 10 Noise Generating Activities		
Activity/Source	Period	Operational
Scenario 1		
Internal/external patron noise (loud conversations)	Day	✓
	Evening	✓
	Night (until Midnight)	✓
Light vehicles	Day	✓
	Evening	✓
	Night (until Midnight)	✓
DJ, trio/duet, or medium level amplified music (ipod music and speakers)	Day	✓
	Evening	✓
	Night (until Midnight)	✓
Food truck	Day	✓
	Evening	✓
	Night (until Midnight)	✓
Scenario 2		
Internal/external patron noise (loud conversations)	Day	✓
	Evening	✓
	Night (until Midnight)	✓
DJ, trio/duet, or medium level amplified music (ipod music and speakers)	Day	✓
	Evening	✓
	Night (until Midnight)	✓
Scenario 3		
Patron shouting	Night (until Midnight)	✓

4.2 Noise Modelling Assumptions and Recommendations

The recommendations given below aim to reduce noise breakout and were incorporated as assumptions in the noise model:

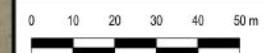
- live music should occur internally within the proposed marquees, with music ceasing at 11.30pm at the conclusion of functions;
- the marquees should be fitted with removable panels made from weatherproof fabric and loaded vinyl (2mm Soniicclear curtain or equivalent). These panels should be utilised during the evening and night periods (6pm to 12am) on the north-eastern and western facing facades to minimise noise transmission to sensitive receivers during noise enhancing conditions (source to receiver winds) (see **Figure 2**);
- amplified music will only consist of DJ, trio/duet or medium level amplified music (ie ipod music and speakers). Larger band (ie rock bands) are not recommended for the project; and
- the loudspeakers should not be located near or facing towards open doorways but should be orientated so as to focus sound onto the dancefloor and to minimise noise breakout.



FIGURE 2
BARRIER LOCATIONS
MAC211298-01
SPRING FLAT FUNCTION
CENTRE

KEY

Barrier locations



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5 Results

5.1 Operational Noise Results

Noise predictions from all sources have been quantified at surrounding residential receivers to the project site during all operational scenarios with results presented in **Table 11**.

Table 11 Combined Noise Predictions – All Receivers

Residential Receivers							
Rec	Predicted Noise Level dB LAeq(15min)			PNTL dB LAeq(15min)			Compliant
	Day	Evening	Night	Day	Evening	Night	
R1	<35	<35	<35	40	35	35	✓
R2	<35	<35	<35	40	35	35	✓
R3	<35	<35	<35	40	35	35	✓
R4	<35	<35	<35	40	35	35	✓
R5	<35	<35	<35	40	35	35	✓

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

5.2 Maximum Noise Assessment Trigger Levels

In assessing maximum noise events, typical L_{Amax} noise levels from transient events were assessed to the nearest residential receivers. A sound power level of 92dBA for patron shouting impact noise was adopted for this assessment. Predicted noise levels from L_{Amax} events for assessed receivers are presented in **Table 12**. Results identify that the maximum noise events trigger level will be satisfied for all assessed receivers.

Table 12 Maximum Noise Levels Assessment (Night)¹

Receiver	Predicted Noise Level dB L _{Amax}	Trigger Level dB L _{Amax}	Compliant
R1	22	52	✓
R2	24	52	✓
R3	22	52	✓
R4	22	52	✓
R5	<20	52	✓

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

5.3 Independent Liquor and Gaming Authority (ILGA) Noise Assessment

Noise assessment calculations have been completed to assess live music against the ILGA requirements during F Class Stability meteorological conditions (ie worst case) for the evening and night assessment period (ie 6pm to midnight). Results of the calculations are presented in **Table 13** for the nearest potentially most affected residential receivers.

Table 13 ILGA Noise Assessment Results

Receiver	LA10 Noise Criteria, Octave Band Centre Frequency (Hz), dBA								
	31.5	63	125	250	500	1 k	2 k	4 k	8 k
Evening/Night (6pm to 12am)									
R1	0	12	7	8	13	20	18	3	0
R2	0	3	0	0	3	7	4	0	0
R3	0	4	0	0	5	9	5	0	0
R4	0	4	0	0	5	7	3	0	0
R5	0	9	7	10	14	14	10	0	0
Criteria	0	8	14	10	18	23	21	23	12

Calculations of noise emissions from the project are identified to be above the derived ILGA noise criteria during music performance scenario of the project at R1 and R5, with received noise levels above the criteria in the 63Hz frequency band. Notwithstanding, the log sum of the individual frequencies noise emissions at these receivers is below the minimum applicable noise criteria of 35dBA for the more stringent night period.

The threshold of hearing is the lowest level the human ear can perceive noise in any specific frequency. **Figure 3** provides a plot of the threshold of hearing for the human ear with outlines that the threshold of human hearing at 63Hz is 35dBA (ISO 226:2003 Acoustics — Normal equal-loudness-level contours). The received noise level at R1 and R5 in the 63Hz band is 12dBA and 9dBA respectively, which is below the threshold of these frequencies and is anticipated to be inaudible.

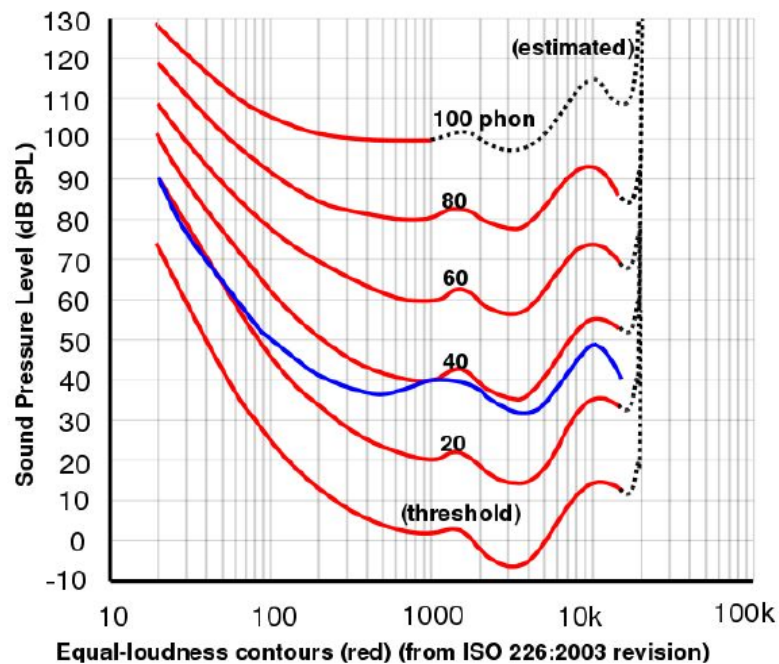


Figure 3– Threshold of Human Hearing

6 Conclusion and Recommendations

Muller Acoustic Consulting Pty Ltd (MAC) has completed a Noise Impact Assessment (NIA) for a proposed Function Centre to be established 345 Spring Flat Road, Spring Flat, NSW.

The assessment quantified noise levels from live music, patrons and vehicles to receivers within the surrounding noise catchment.

The results of the assessment demonstrate that noise levels comply with relevant NPI, Maximum Noise Level Assessment and ILGA criteria with the implementation of the following recommendations:

- appropriately managing noisy patrons during functions at the project site;
- ceasing music at 11.30pm at the conclusion of functions;
- all amplified music would be situated within the pavilions/ marquees;
- the marquees should be fitted with removable panels made from weatherproof fabric and loaded vinyl (2mm Soniicclear curtain or equivalent). These panels should be utilised during the evening and night periods (6pm to 12am) on the north-eastern and western facing facades to minimise noise transmission to sensitive receivers during noise enhancing conditions; and
- amplified music will only consist of DJ, trio/duet or medium level amplified music (ie ipod music and speakers). Larger band (ie rock bands) are not recommended for the project.

Based on the Noise Impact Assessment results, there are no noise related issues which would prevent Council approving the project once the noise control recommendations provided in this assessment have been implemented. Additionally, the results of the assessment show compliance with the relevant EPA criteria. Although there is potential for noise levels above the ILGA criteria at receiver R1 and R5 in the 63Hz frequency band, the received noise level is below the threshold of hearing and is anticipated to be inaudible.

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Appendix A – Glossary of Terms

A number of technical terms have been used in this report and are explained in **Table A1**.

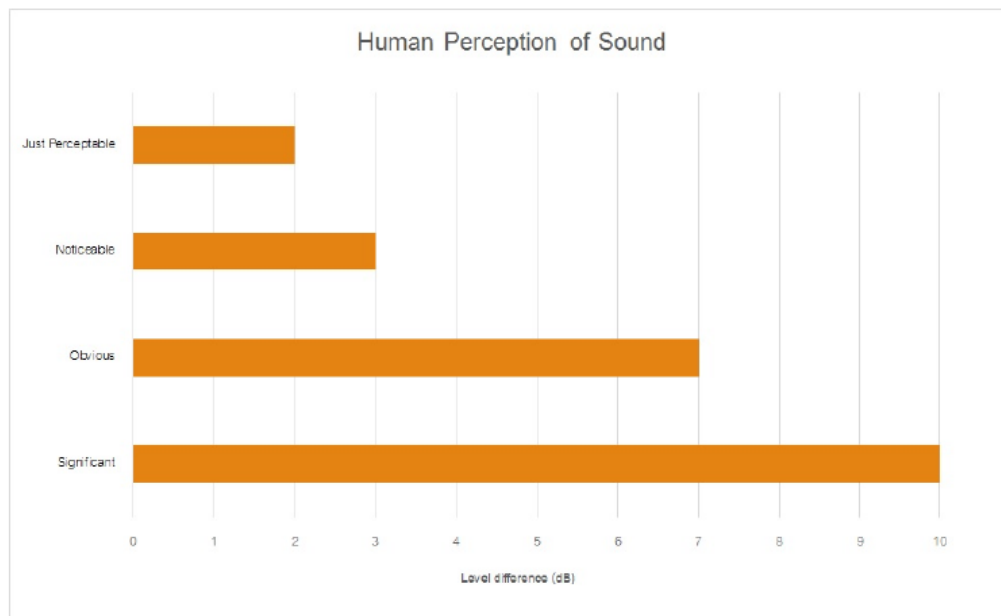
Table A1 Glossary of Acoustical Terms	
Term	Description
1/3 Octave	Single octave bands divided into three parts
Octave	A division of the frequency range into bands, the upper frequency limit of each band being twice the lower frequency limit.
ABL	Assessment Background Level (ABL) is defined in the NPI as a single figure background level for each assessment period (day, evening and night). It is the tenth percentile of the measured L90 statistical noise levels.
Ambient Noise	The total noise associated with a given environment. Typically, a composite of sounds from all sources located both near and far where no particular sound is dominant.
A Weighting	A standard weighting of the audible frequencies designed to reflect the response of the human ear to sound.
Background Noise	The underlying level of noise present in the ambient noise, excluding the noise source under investigation, when extraneous noise is removed. This is usually represented by the LA90 descriptor
dBA	Noise is measured in units called decibels (dB). There are several scales for describing noise, the most common being the 'A-weighted' scale. This attempts to closely approximate the frequency response of the human ear.
dB(Z), dB(L)	Decibels Z-weighted or decibels Linear (unweighted).
Extraneous Noise	Sound resulting from activities that are not typical of the area.
Hertz (Hz)	The measure of frequency of sound wave oscillations per second - 1 oscillation per second equals 1 hertz.
LA10	A sound level which is exceeded 10% of the time.
LA90	Commonly referred to as the background noise, this is the level exceeded 90% of the time.
LAeq	Represents the average noise energy or equivalent sound pressure level over a given period.
LAmx	The maximum sound pressure level received at the microphone during a measuring interval.
Masking	The phenomenon of one sound interfering with the perception of another sound. For example, the interference of traffic noise with use of a public telephone on a busy street.
RBL	The Rating Background Level (RBL) as defined in the NPI, is an overall single figure representing the background level for each assessment period over the whole monitoring period. The RBL, as defined is the median of ABL values over the whole monitoring period.
Sound power level (Lw or SWL)	This is a measure of the total power radiated by a source in the form of sound and is given by $10 \cdot \log_{10} (W/W_0)$. Where W is the sound power in watts to the reference level of 10^{-12} watts.
Sound pressure level (Lp or SPL)	the level of sound pressure; as measured at a distance by a standard sound level meter. This differs from Lw in that it is the sound level at a receiver position as opposed to the sound 'intensity' of the source.

Table A2 provides a list of common noise sources and their typical sound level.

Table A2 Common Noise Sources and Their Typical Sound Pressure Levels (SPL), dBA

Source	Typical Sound Pressure Level
Threshold of pain	140
Jet engine	130
Hydraulic hammer	120
Chainsaw	110
Industrial workshop	100
Lawn-mower (operator position)	90
Heavy traffic (footpath)	80
Elevated speech	70
Typical conversation	60
Ambient suburban environment	40
Ambient rural environment	30
Bedroom (night with windows closed)	20
Threshold of hearing	0

Figure A1 – Human Perception of Sound



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Appendix B – Site Layout



PROPOSED SEMI-PERMANENT TENT STRUCTURES & AMENITIES BLOCK

345 SPRING FLAT ROAD, MUDGEE NSW

drawing schedule			
A 00	COVER SHEET	REV: 0	DATE: 14.12.2020
A 01	GENERAL SITE PLAN	REV: 0	DATE: 14.12.2020
A 02	PORT SITE PLAN	REV: 0	DATE: 14.12.2020
A 03	TENT FLOOR PLAN & SECTION	REV: 0	DATE: 14.12.2020
A 04	AMENITIES FLOOR PLAN & SECTION	REV: 0	DATE: 14.12.2020

In addition to the National Construction Code series Building Code of Australia Vol. 1, 2019, the Planning Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following apply to the Australian Standard. Details of practice are to be followed to the extent of the documentation & construction work.

AS1688 – Mechanical ventilation & air conditioning in Buildings
AS1906 – Electrical installations, buildings, structures & premises (except as the law requires)
AS1926.1 – General requirements for access – buildings
AS1926.2 – On-site parking & mandatory requirements
AS1926.3 – Access lighting & safety measures

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to Barnson Pty Ltd for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figure dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & on-site work shall be verified by the contractor before construction & fabrication.

For the purpose of the Building Code of Australia, Vol. 1, 2019, the development may be described as follows:

classification - BCA 'type A'
The building has been classified as a 'Class 10 building - amenities & temporary structures'.

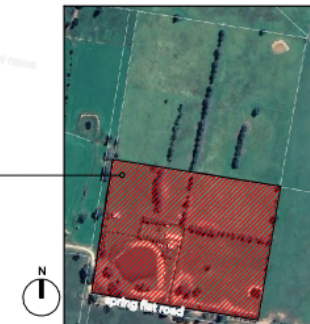
rise in stories - BCA 'part C1.2'
The building has arisen in stories of one.

effective height - BCA 'schedule 3 definition'
The building has an effective height of zero, or less than 25.0m.

type of construction required - BCA 'part A6, part C1.1 - table C1.1'
Class 10 building - type 'C' construction. The building has been deemed to be of 'non-combustible' construction.

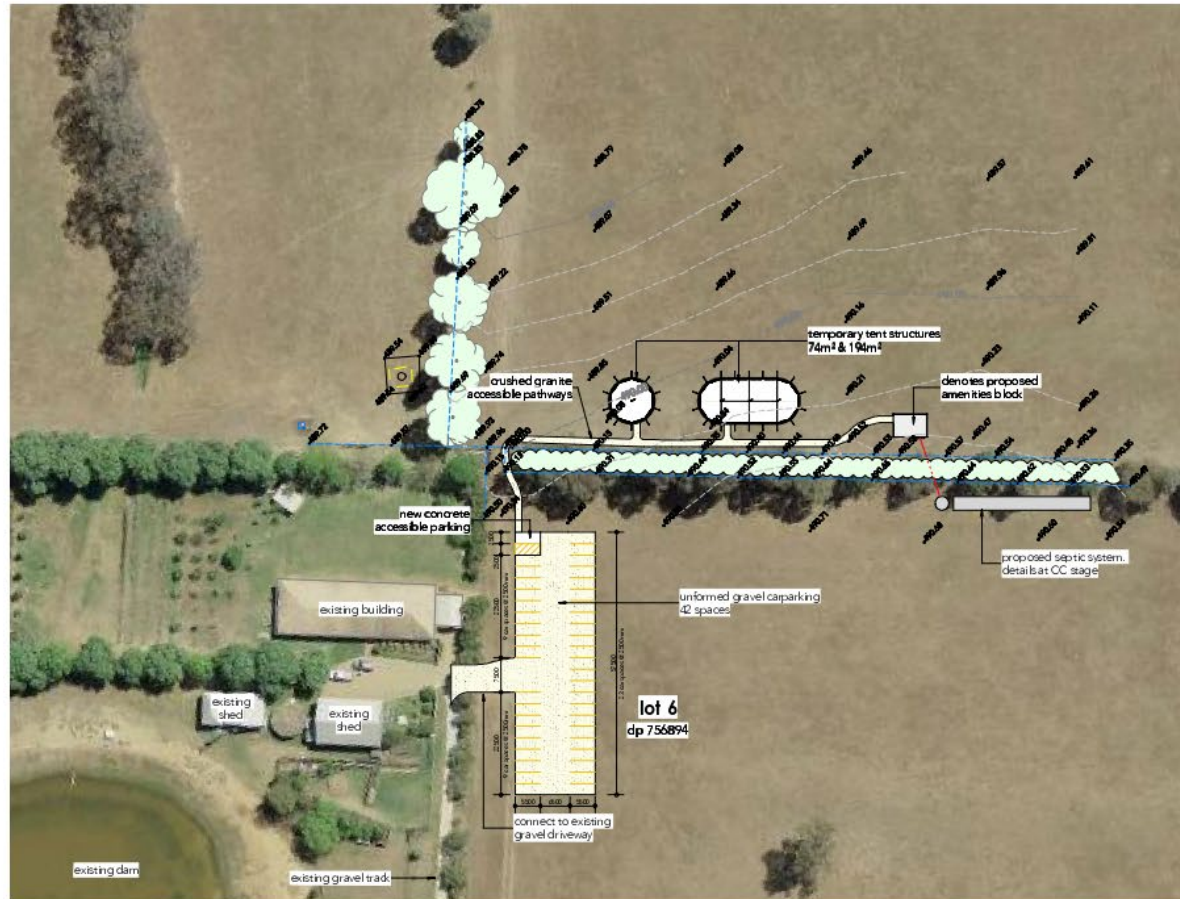
climate zone - BCA 'schedule 3 definition'
The building is located within climate zone 4.

proposed area of works
345 Spring flat road, mudgee
for 6, 4p756894



PROPOSED SEMI-PERMANENT TENT STRUCTURES & AMENITIES BLOCK

DA ISSUE, 14.12.2020



02 part site layout

1:500 (A1)

0 5000 10000 20000 40000

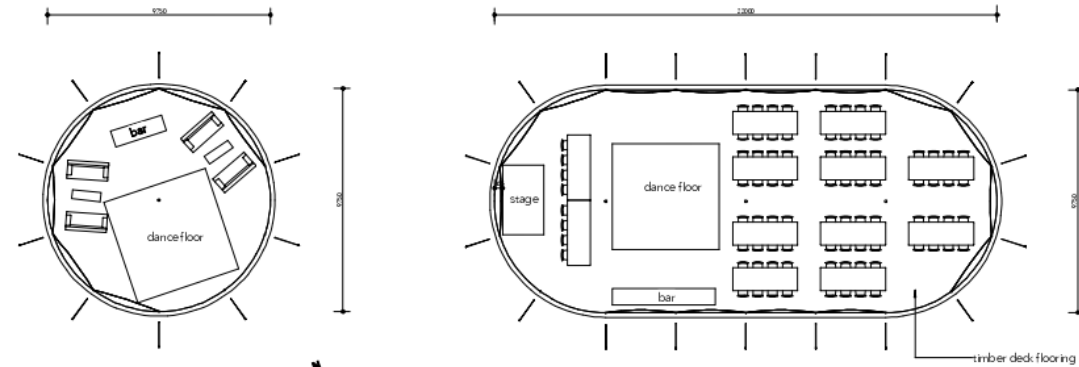


carparking:

The following schedule has been prepared in accordance with 'mid-western regional council's off-street parking code'.

building usage	persons	rate of prov.	total
Places of Public Use/Assembly: Entertainment Facilities, Community facilities,	150	1 space per 4 users	37.5
total number of carparking required			38
total number of carparking provided			42

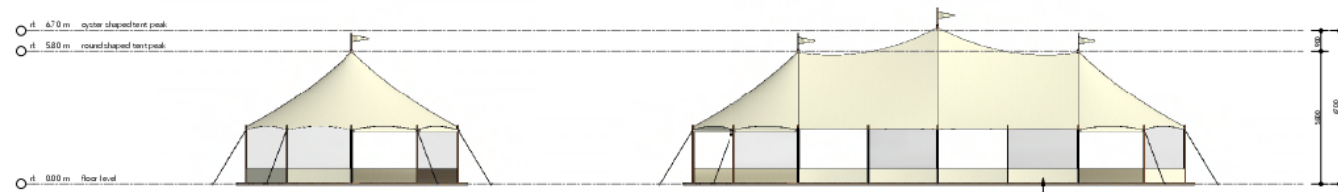
DA ISSUE



03 tent floor layout

1:100 (A1)
0 1000 2000 4000 8000

note: furniture layout indicative only

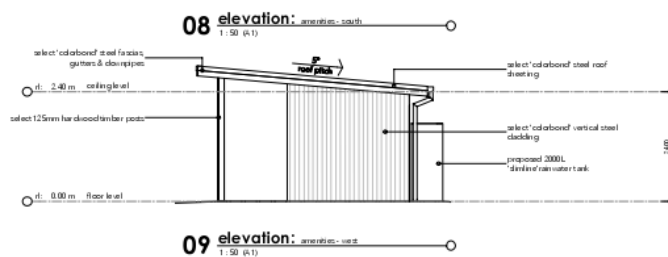
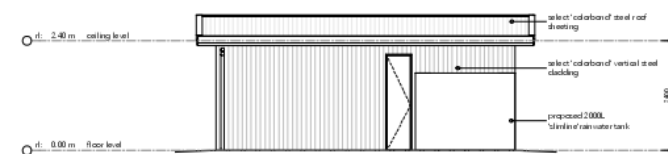
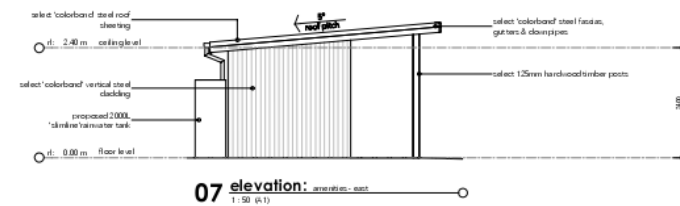
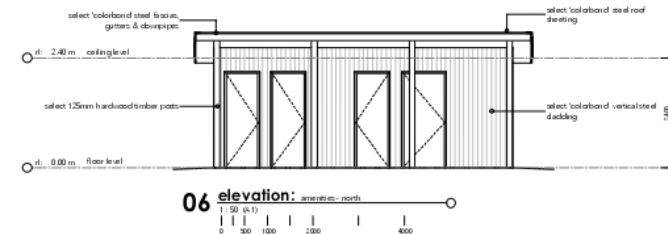
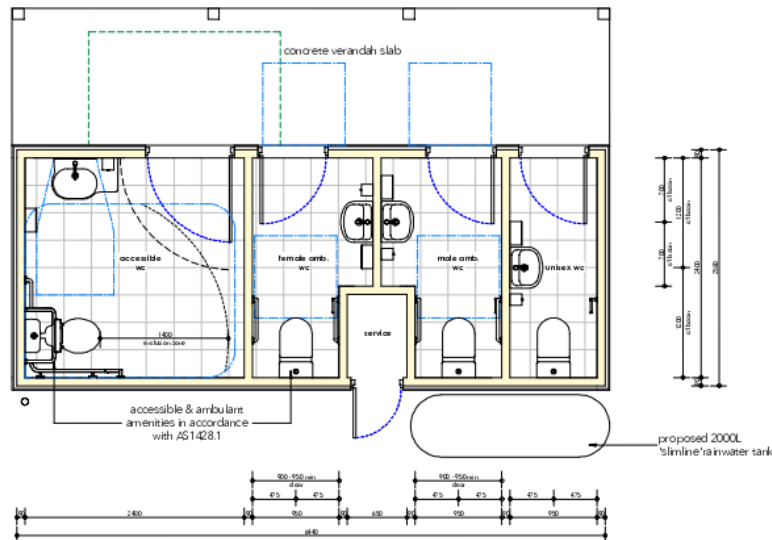
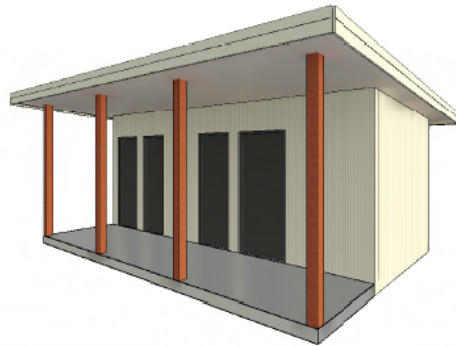


04 elevation: tent - south

1:100 (A1)
0 1000 2000 4000 8000

note: 'california' style marquee, indicative only

DA ISSUE

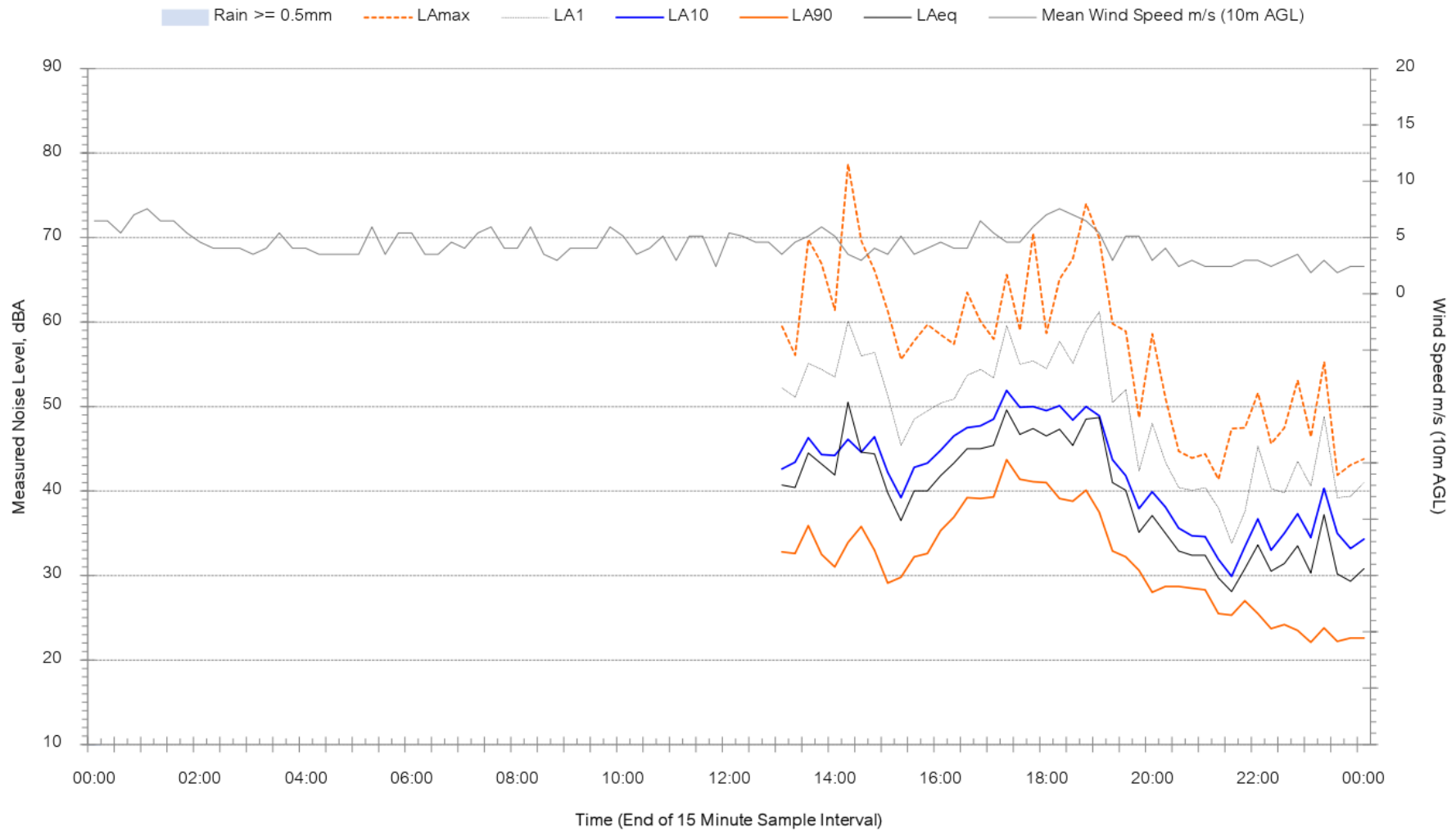


DA ISSUE

Appendix C – Unattended Noise Logging



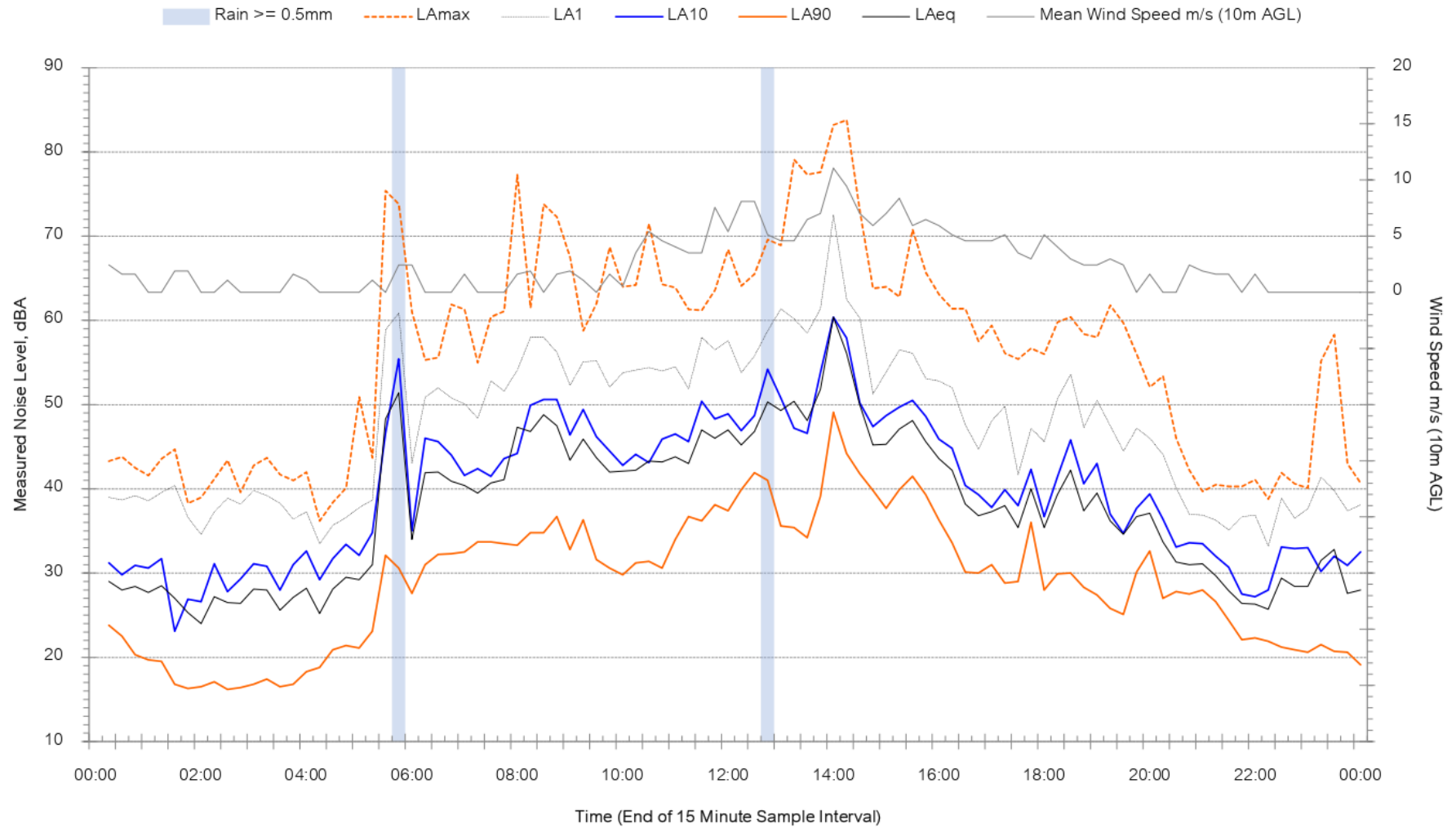
Background Noise Levels
Spring Flat Function Centre - Wednesday 24 February 2021





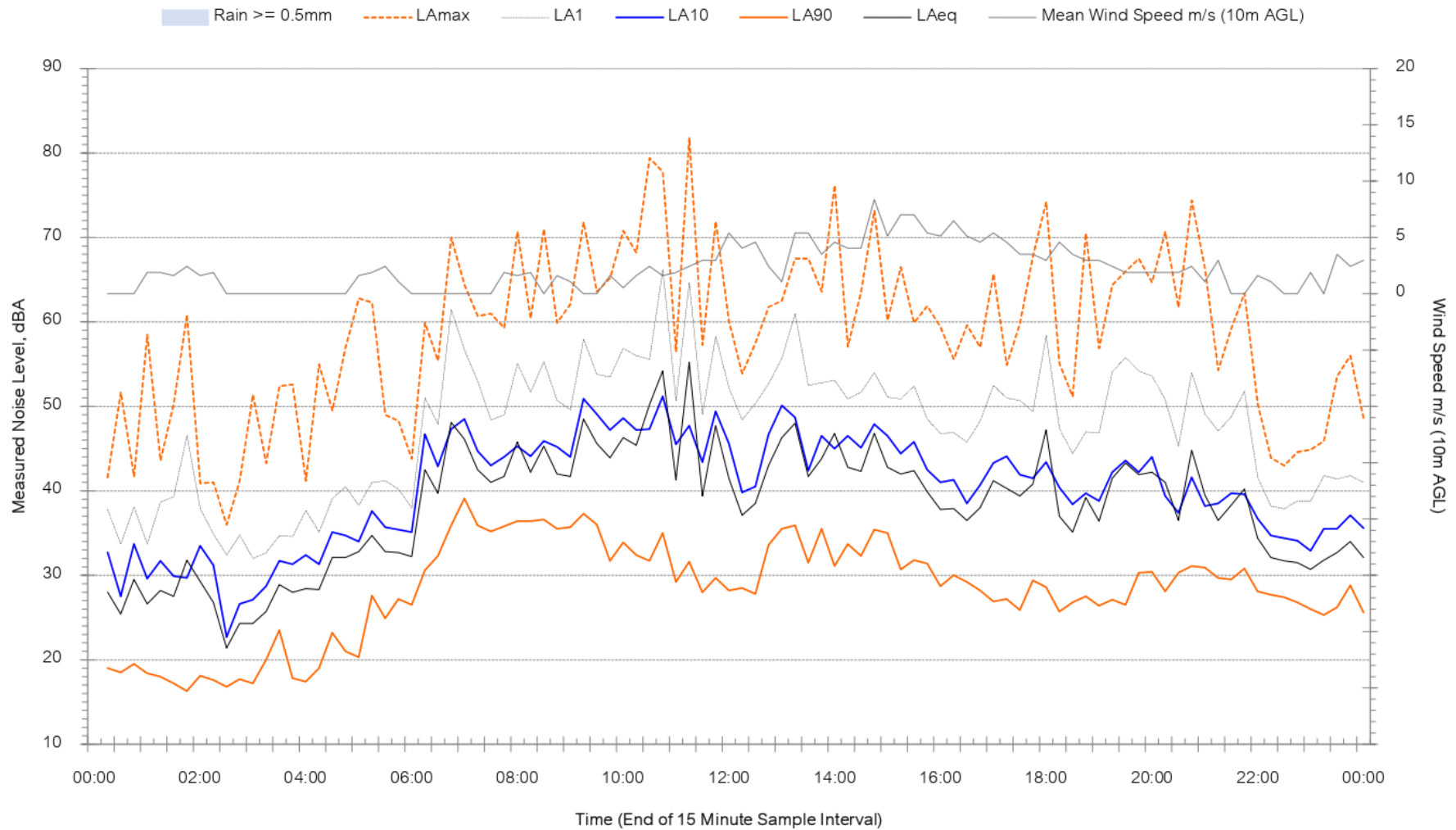
Background Noise Levels

Spring Flat Function Centre - Thursday 25 February 2021





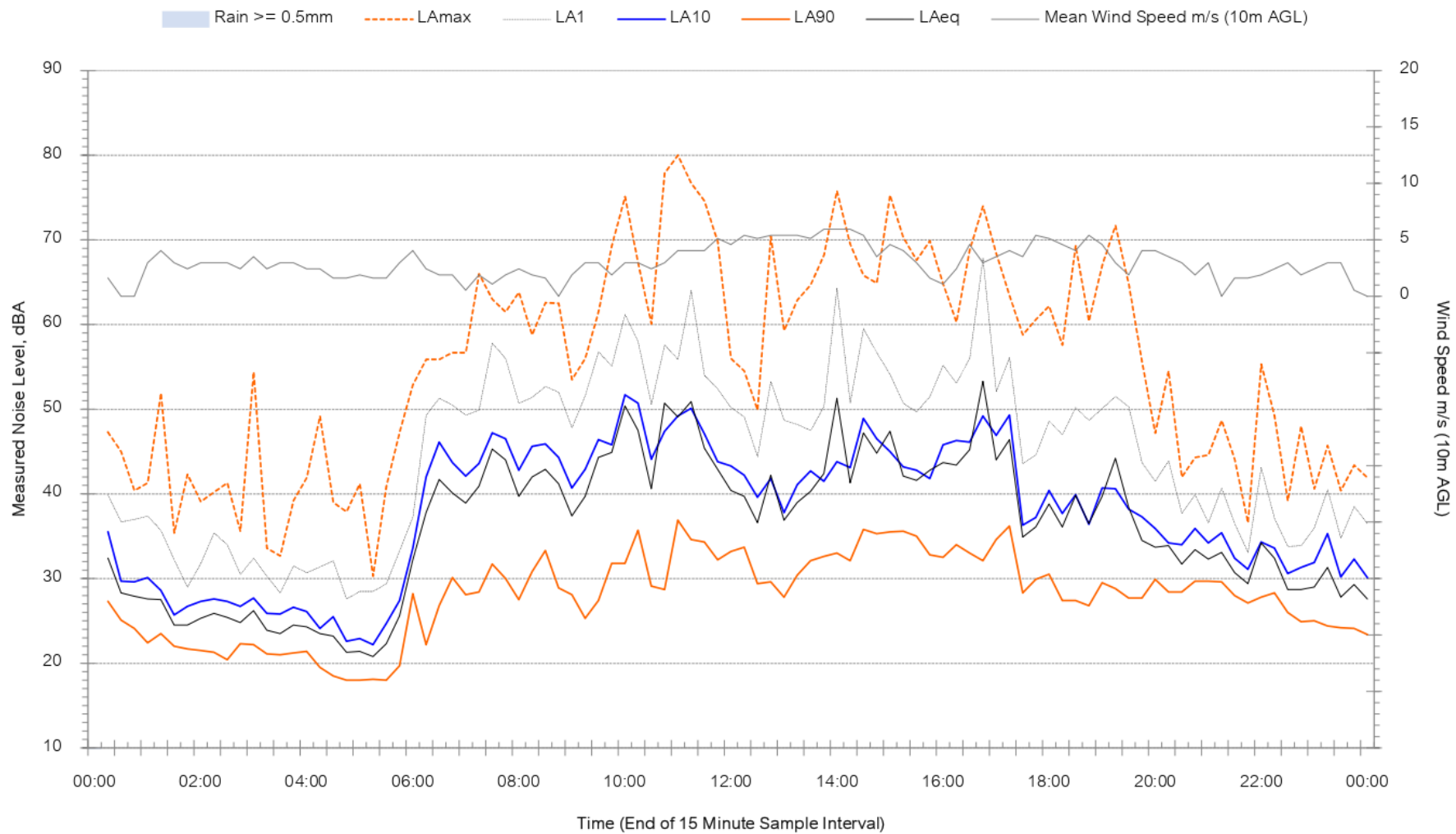
Background Noise Levels
Spring Flat Function Centre - Friday 26 February 2021





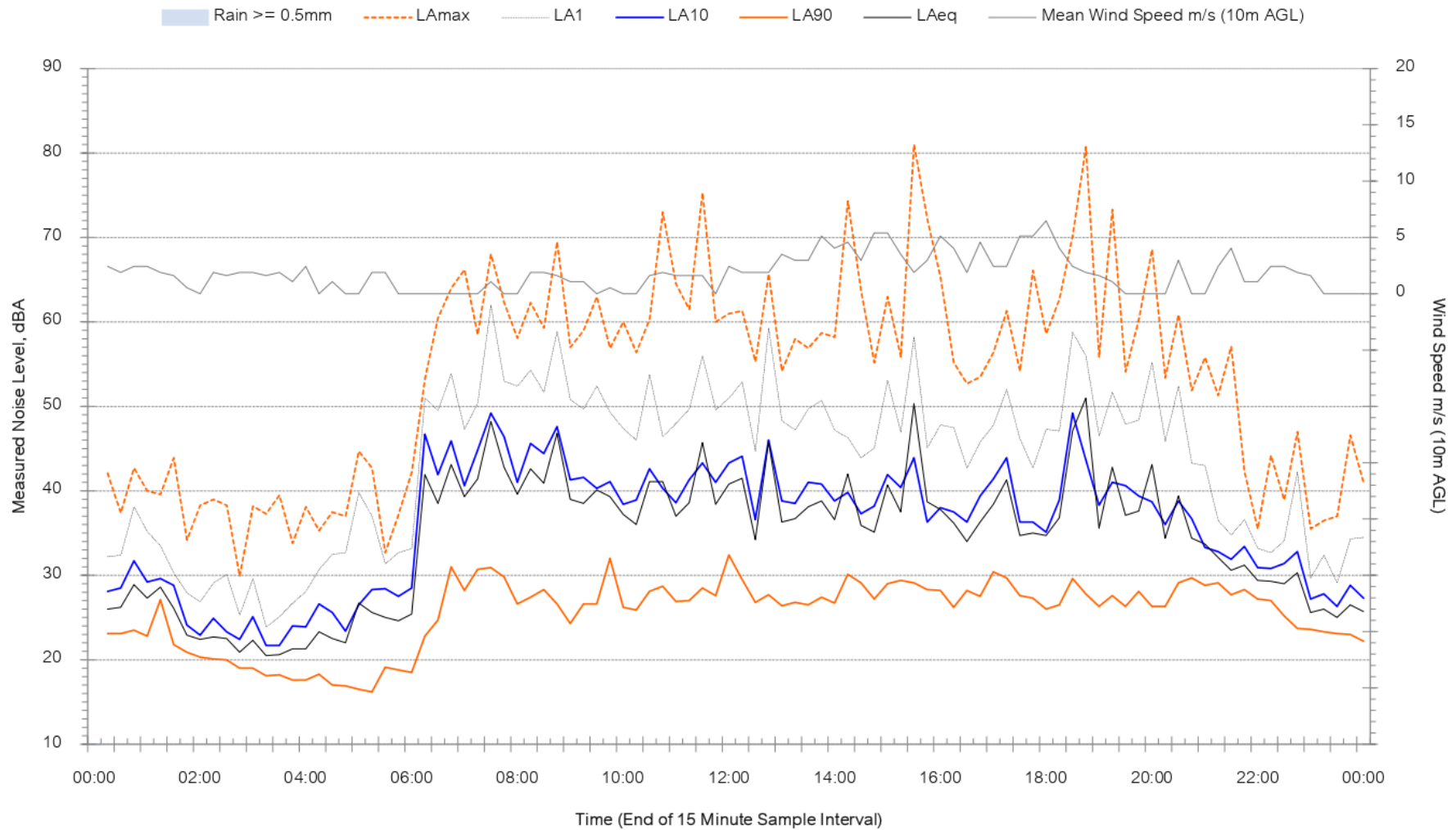
Background Noise Levels

Spring Flat Function Centre - Saturday 27 February 2021





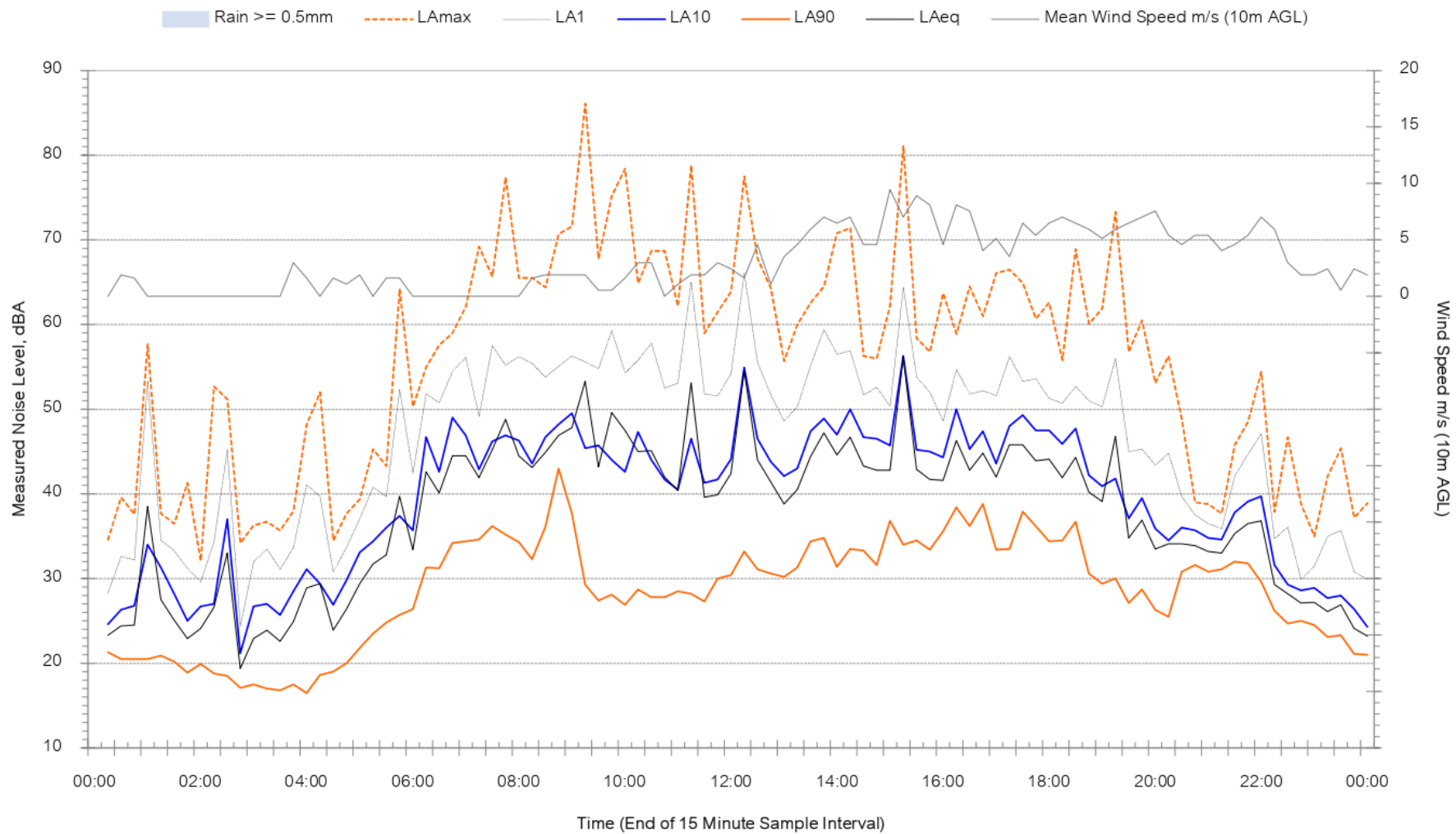
Background Noise Levels
Spring Flat Function Centre - Sunday 28 February 2021





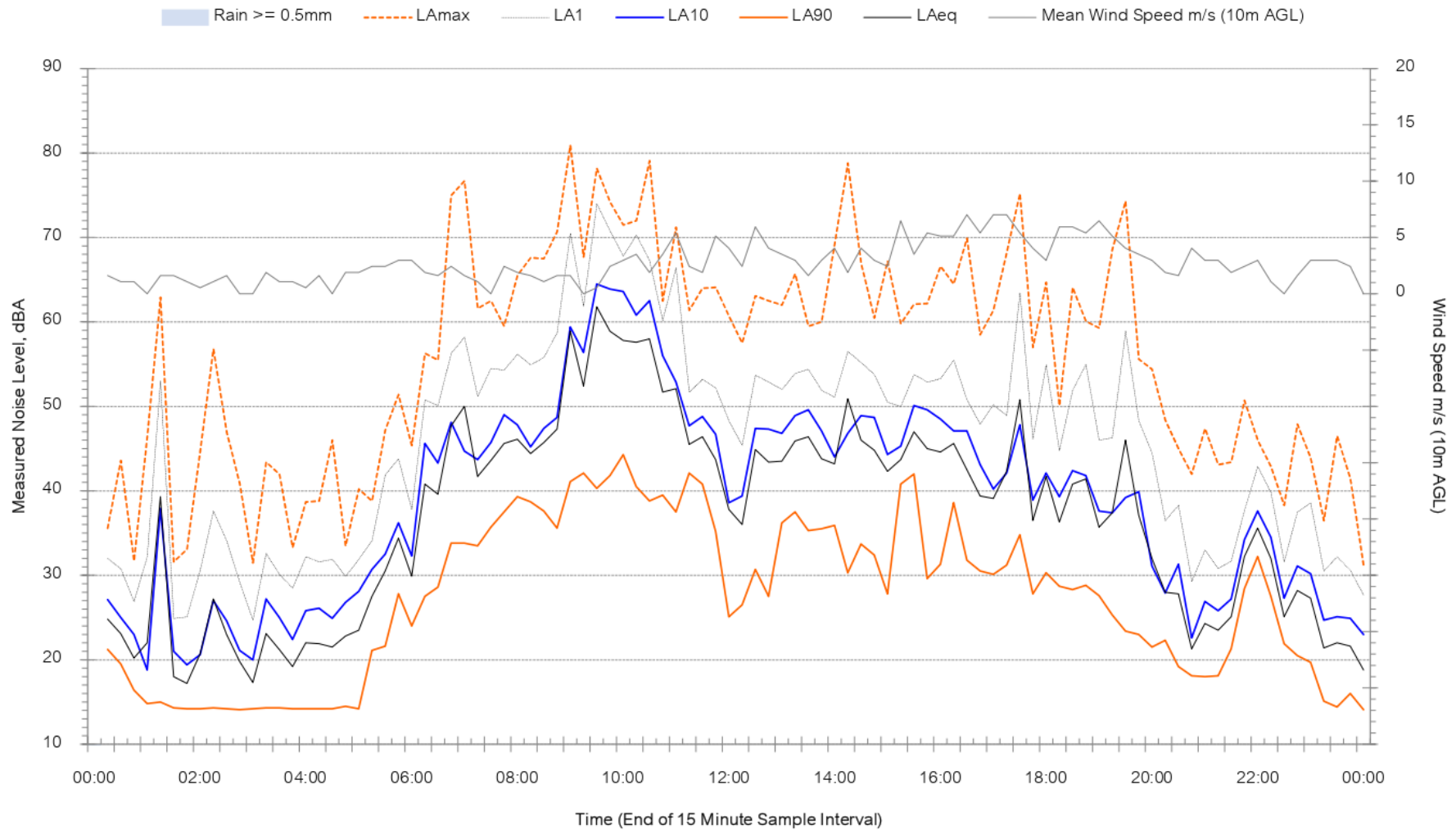
Background Noise Levels

Spring Flat Function Centre - Monday 1 March 2021





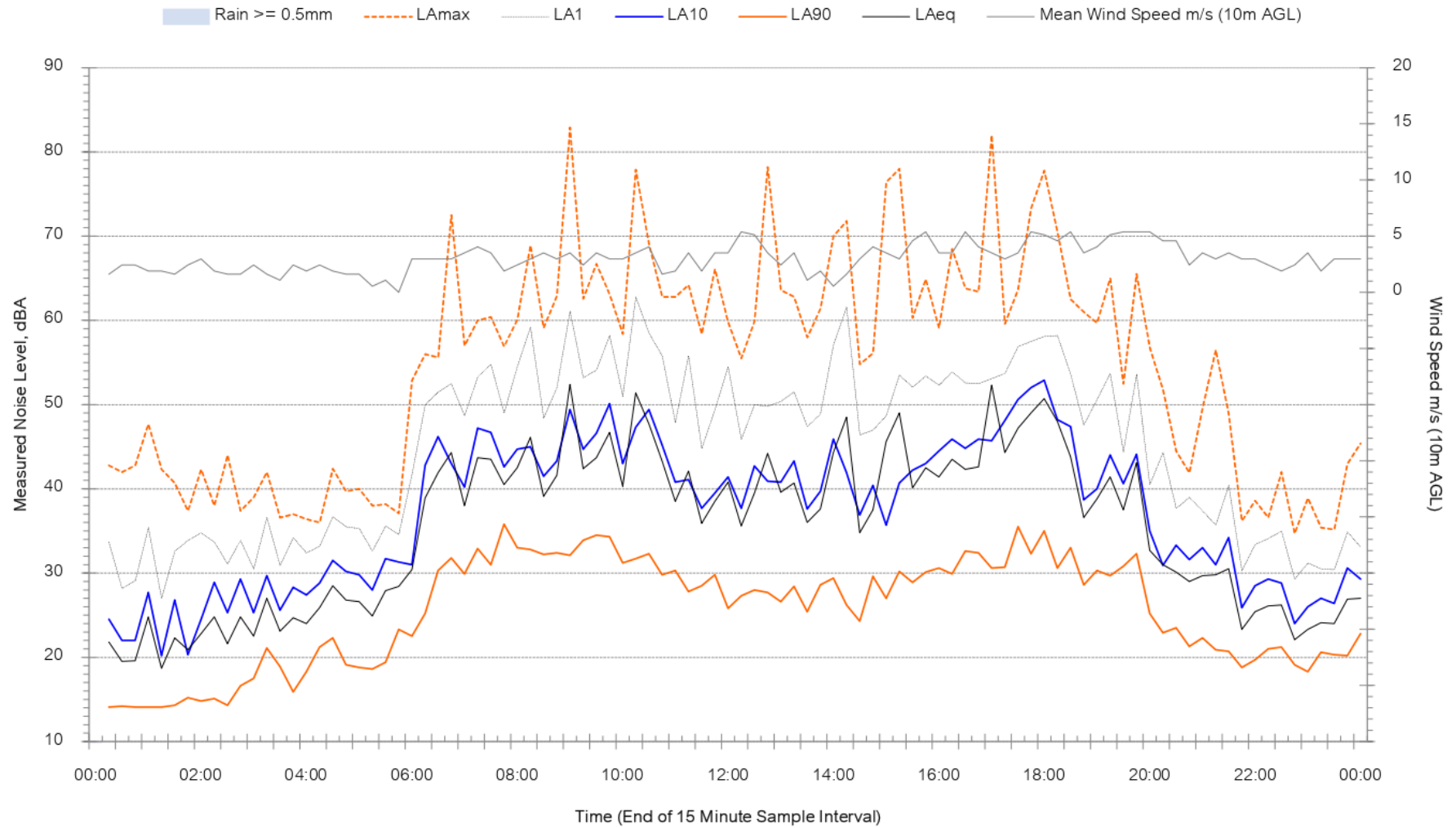
Background Noise Levels
Spring Flat Function Centre - Tuesday 2 March 2021





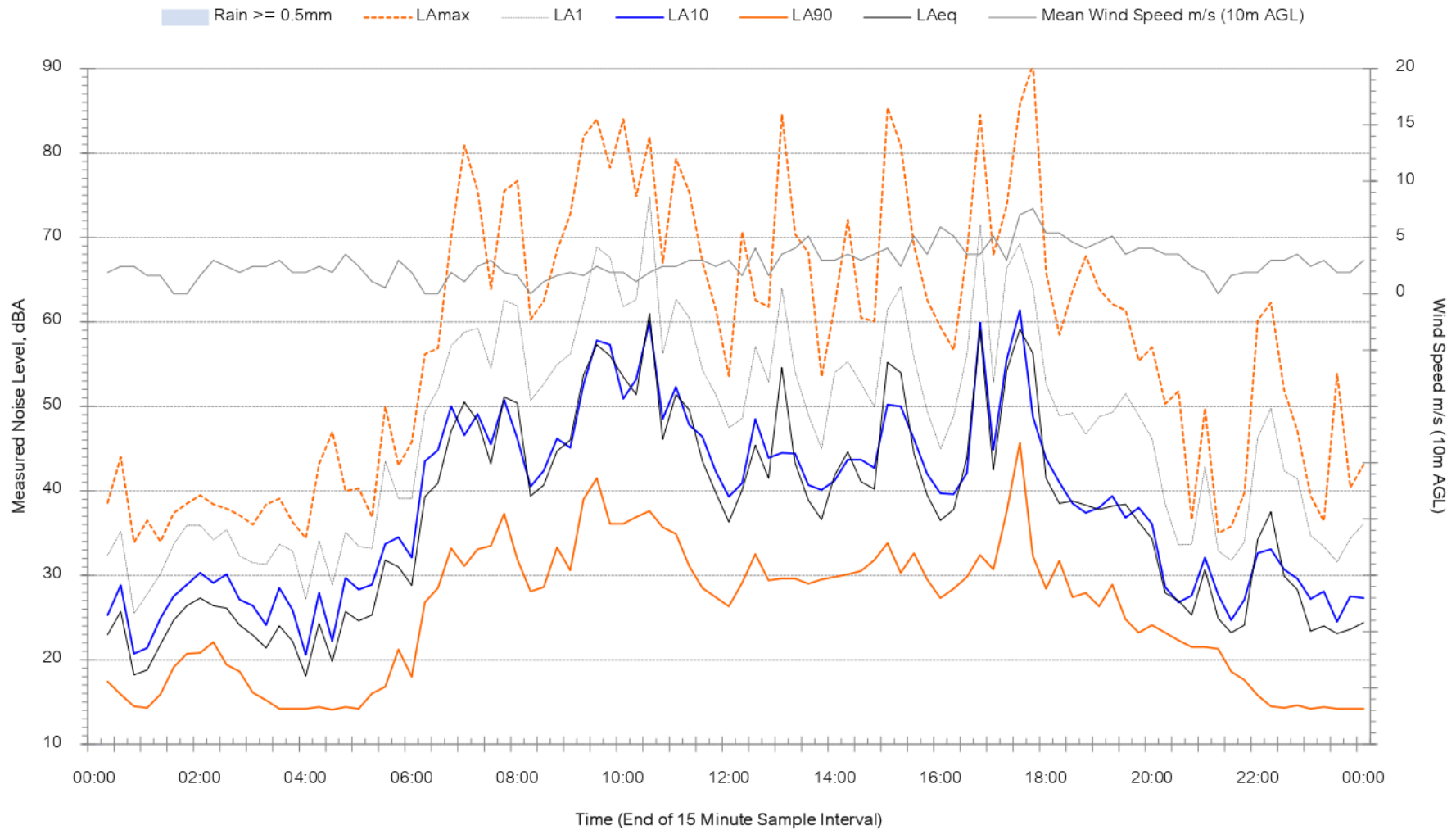
Background Noise Levels

Spring Flat Function Centre - Wednesday 3 March 2021





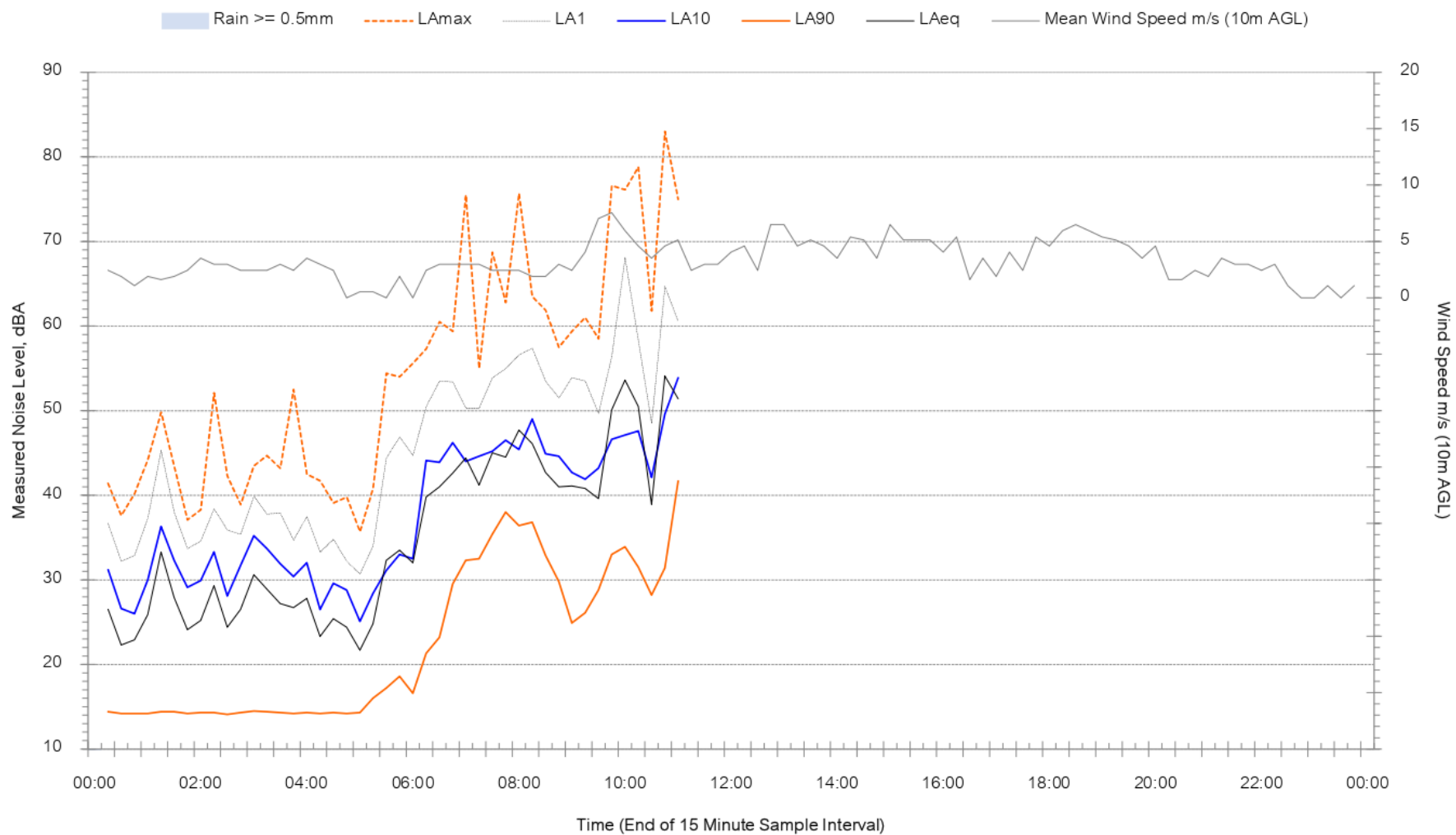
Background Noise Levels
Spring Flat Function Centre - Thursday 4 March 2021





Background Noise Levels

Spring Flat Function Centre - Friday 5 March 2021



Muller Acoustic Consulting Pty Ltd
PO Box 262, Newcastle NSW 2300
ABN: 36 602 225 132
P: +61 2 4920 1833
www.mulleracoustic.com



From: [REDACTED]
To: [Council](#)
Subject: DA0204/2021 - Objection
Date: Tuesday, 2 February 2021 10:15:25 PM

To the General Manager,

I am writing in regards to the Development Application DA0204/2021.

I am in objection of the proposed development for the following reasons;

1. There has been no study completed on the impact to Spring Flat Rd and its users.
 - Access is via Spring Flat Rd, which is listed as a minor local road under MRWC Roads Asset management plan. This plan specifies that the road is only required to be graded once every 2 years. The Statement of Environmental Effects attached to the DA hints that it may discuss this under section 5.8.2. It does not however discuss any impact that will be made to Spring Flat Rd or its traffic, rather states the facts that are already mentioned in the introduction of the document. Being a local resident, I know for a fact that Spring Flat Rd is at its maximum capacity, I quite often see near misses that occur on this road due to the poor state that the road surface is kept in. Knowingly increasing traffic on an already inadequate roadway is not fulfilling MWRC's duty of care.
2. No Acoustic Engineer Report completed.
 - The noise pollution impacts that will accompany this development have not been adequately considered. I am the closest resident to the development site and can recall quite a few events that have been held there in the past. Voices and music can be heard, and vehicles entering and exiting the property are quite evident. One event in particular, I can remember hearing the event speeches as I tried to sleep, leaving me awake for several hours. The noise assessment covered in the Statement of Environmental Effects attached to the DA is very inadequate. It is based on assumptions of what music level a band will play and how loud a crowd will be. This is definitely not suffice.
3. The Midnight finish time is too late.
 - We live here for peace and quiet. Loud band music will be intolerable and ruin the liveability of this small acreage area. Additionally, this development is incompatible with the zoning intentions.

I trust that you will consider these objections before pursuing the Development Application further.

Regards,
Seton Croake



The General Manager
Mid-Western Regional Council
MUDGEE NSW 2850

Dear Sir

DA 0204/2021
Function Centre (Semi-Permanent Marquee)
345 Spring Flat Road, Spring Flat 2850

We wish to object to the above Development Application.

Reasons for our objections are twofold:

1. Noise

- a. Spring Flat is a rural area - a very beautiful and quiet area – precisely the reason that we purchased our home here 15 years ago.
- b. Our home is located, according to the map provided in DA, 720 metres away from the proposed function centre - across a cleared paddock.
- c. Anyone who says that the noise from the function centre is unable to be heard at a disturbing level at our home is **categorically incorrect**:
 - i. We had a very negative experience when there was a function at the same property in the past. We didn't say anything because we thought it was a family wedding, that it was a once off and everyone is entitled to have their special day at their home/family home. We were obviously wrong as the proposal is now for it to be an ongoing business.
 - ii. During the day we are out in our own garden and paddocks, or inside with the doors and windows open enjoying the peace and serenity ... but not this day.....The microphones and sound system were being used (sound checks, practice and some fun tom foolery) throughout the entire afternoon. It sounded very loud and as though it was in our yard.
 - iii. The band played loud and long that night and the noise continued to remain intrusive and unsettling.
 - iv. To have this amount of noise every weekend, during both day and night, and possibly during the week as well would be unbearable - if we wanted to hear this noise/music we would have bought a property in town next to a pub.

2. Traffic

- a. From Castlereagh Highway, Spring Flat Road has three blind 90 degree angle corners (all on gravel road) before it gets to the proposed Function Centre site – a road that takes concentration and care to negotiate safely with oncoming traffic.
- b. These blind corners have been the location of many a near miss between vehicles; vehicles and cyclists; vehicles and horseback riders; vehicles and pedestrians.
- c. With an increase of at least an additional 45 vehicles for one afternoon/night on a regular basis – visiting people with likely no knowledge of the dangers of these corners and gravel roads, would see the chances of accidents increase significantly

- d. Maintenance of the road would also need to be increased as well with the level of traffic using the road.

We do not wish our neighbours any ill will but our peace and solitude is so important to us.

Please take into consideration the massive changes to noise levels (and subsequent life changes and quality) that the proposed function centre would cause for us.

You have been provided with mathematical equations in the DA to assure you that the noise would not disturb us on our property – we know from experience that they are nothing short of nonsense. The noise was and would continue to be an intrusion into our lives and a living nightmare for us if this Function Centre came to pass.

Yours faithfully

D & C Peek



From: council@midwestern.nsw.gov.au
To: [Council](#)
Subject: Have your say - online submission
Date: Wednesday, 3 February 2021 12:59:48 PM

First_name : greg
Surname : collyer
Your_street : [REDACTED]
Town : mudgee
State : New South Wales
Postcode : 2850

Phone_number : [REDACTED]
Email_address : [REDACTED]

Your_say : I am opposed to the da of marquees being erected on springflat road, due to potential fire risks, traffic on unsealed roads with blind corners, extremly dusty environment, loud noise with a 12 pm curfew, burden on a already overused transfer station, no control of alcohol , drink driving on back roads to avoid police [REDACTED] property joins the proposed da and it would have a detrimental effect on value & lifestyle

From: [REDACTED]
To: [Council](#)
Subject: D/A0204/2021 Concerns
Date: Wednesday, 3 February 2021 4:26:36 PM

To the General Manager,
Mid Western Regional Council

We are writing in objection to DA0204/2021 Property Lot 6 DP 756894 proposed function centre at 345 Spring Flat Road.

We live at [REDACTED] and have done for the last 30 years.

We object to the proposed function centre for the following reasons:

1. We feel it is not conforming with the zoning objective of small primary production holdings. Surely there are enough other wedding and function centres situated in vineyard/ tourism areas of Mudgee where such a proposal would be better suited instead of allowing it in a noted quiet rural setting.
2. The increased amount of traffic is also cause for concern as part of Spring Flat Road is gravel. The road is not up to the standard suitable for such a venue and will create a massive dust problem for local households when it is dry and a slippery bog hole when it is wet. Not to mention the increased wear and tear on the tarred section of road.
3. Despite claims on the proposal that the noise from the venue will not affect neighbouring properties, we beg to differ. We live approximately 2km south west of the proposed venue and 4 km from the Sydney Road (as the crow flies) and in certain weather conditions, predominantly easterly wind direction, we can clearly hear traffic on the Sydney Road as it carries straight up our valley. We are positive we will hear this noise and feel for those property owners that are situated much closer to the site than we are.

Finally, we are highly sceptical and of the opinion that the applicants do not and will not be living at the residential address permanently and should be made to prove that they do, as implied on the application. Our reasoning is, that if they lived there, they would not be so keen for events to be held outside their house almost every weekend. If they are in fact planning to run this centre from elsewhere, of course they are not going to have these serious concerns that neighbouring property owners will have to put up with if the centre is approved.

Sincere concerns,

Shane and Roslyn Rogers.

Craig and Anita Rusten



3 February 2020

Mid-Western Regional Council
86 Market Street
Mudgee NSW 2850
ATTENTION TO: GENERAL MANAGER
Submitted by email to Council@midwestern.nsw.gov.au

RE: SUBMISSION REGARDING DA0204/2021
Proposed Function Centre
Lot 6 DP 756894
Oakey Corner 345 Spring Flat NSW 2850

Dear Sir,

We are writing to express our concerns regarding a number of issues with the proposed development application.

Firstly we are strongly concerned about noise from the marquee and surroundings and the stated number of attendees allowed at one time and the increased dust from traffic on the dirt road.

We ask that the following conditions be applied if the development were to go ahead.

-sound proofing of the marquee

-live music or sound systems only allowed in doors NOT on the outside grassed areas. The noise carry is very strong, a previous function that was held there last year resulted in many of the surroundings properties being affected by the whole days set up of mic testing and then music until late. Which is why restrictions need to be implemented to reduce the impact on adjoining land owners

-all noise will cease at 9.45pm and events shall conclude no later than 10pm

-no more than 15 events permitted in each calendar year

-the property owners must be present and contactable for each event

-upgrade of roads and driveway leading into the property itself as the roads are extremely dusty and direct homes will suffer from the dust pollution. The Spring Flat Rd can be very dangerous especially for guests that are not familiar with the road. The dog leg close to the properties entrance can be very restrictive for 2 cars, let alone a large number of cars at the one time or buses.

Kind regards,
Craig and Anita Rusten

From: [Paul Rodgers](#)
To: [Council](#)
Subject: DA0204/2021
Date: Wednesday, 3 February 2021 5:18:55 PM

To the General Manager,

I write this letter to express my concerns and objections toward the proposed function centre DA0204/2021 at 345 Spring Road.

My family and I live in [REDACTED] 1.5 km from this development and most likely under 1000m as the crow flies.

We love the quiet rural life at our home and we are extremely worried about the noise we may hear from this function centre late at night.

I would like to outline some of my other concerns about this development.

1. The proposed buildings are marquees and will most likely not contain any loud music or noise from speakers compared to a building
2. Unlike the Rocky Waterhole development we are on dirt roads out here and already receive an unnecessary amount of traffic on them due to the town people using the Queens Pinch waste facility. The council already struggles to maintain these roads to standard but are considering commercial developments without upgrading the infrastructure to match
3. City people that do not understand how to drive on tight, narrow dirt roads, or drink driving home from the function as there is no RSA licence attached to the venue
4. People leaving the venue late at night and travelling past our property of which is normally very quite

Some acceptable conditions that should be considered are;

1. Function finish time at 10 pm
2. Friday and Saturday functions only
3. Limit of 20 per year
4. Sealed roads down Spring Flat and Wallinga lane to reduce dust and noise
5. Function Centre and visitors prohibited from using Queenspinch transfer station that is already overloaded and poorly managed.

Thank you for reading my concerns and objections and I hope the council are able to impose strict conditions on this and all future developments within this tranquil rural setting that we love.

Regards,

Paul and Lara Rodgers
[REDACTED]
[REDACTED]

From: [Diane and Mike Suttor](#)
To: [Council](#)
Subject: 345 Spring Flat Road- DA 0204/2021
Date: Wednesday, 3 February 2021 2:08:23 PM

While we would like to encourage attractions and entrepreneurs in Mudgee we unfortunately need to raise a few concerns in respect to this DA. Please note we only found out about the DA yesterday so have only had a short period to consider our response.

The DA suggests that the function centre is consistent with the objectives of RU4 Zoning. The Environmental Statement lists the objectives of the zoning and we don't understand how they come to the conclusion that it is in keeping with the zoning. More specifically the Environmental Statement is deficient in assessing the impacts on the local area as we discuss below.

The location is reasonable from a visual perspective but the noise generated at functions ,particularly at night will travel a long way. In addition to bands there is often speeches on microphones , applause , shouting etc which can be louder than the music. We were aware the owners had a wedding or something there last year and setting up and testing microphones during the afternoon and then music was audible at our house. There will be the potential for additional noise as patrons leave around midnight. It is one thing to accept occasional functions at nearby properties but it is quite another to tolerate noise and disruptions every weekend. So further noise assessment is very important.

There is no assessment of traffic impacts in the DA. There will be additional traffic (including vans and trucks) for setting up and removal plus the movement of the attendees. Spring Flat Road deteriorates very quickly as it is and regular functions will add significantly to the volume of traffic. Further there are a couple of sharp bends which have limited visibility and will be extremely dangerous with heavier than existing traffic flow.

While we are south of the property we believe traffic flow will also increase past our house for two reasons. Firstly as people enter and exit via Queens Pinch Rd and look around the area. Dust from vehicles can at times be very heavy and noise from trailers and trucks quite loud. Any regular increase in this is unwelcome, particularly late afternoon, early evening on a Saturday night. Secondly the garbage station at end of Wallinga Lane will attract vehicles before and after functions. These bins are a massive issue for residents living nearby and residents have been consistently making petitions to council re their removal or being controlled / managed more strictly. Any increase in garbage is simply unacceptable.

We don't fully understand the alcohol licensing arrangements but note the " function centre" will not be managing each function but rather each event will arrange their own catering and alcohol management . We are uncomfortable with this arrangement and see potential problems that can further impact neighbours. There will be a lack of consistency and accountability as the function owners are not present or managing each function. There is thus a high risk of regulations being broken ,such as turning off the music at 11pm, ensuring patrons leave on time and so on. We assume the house will be available for short term stays (no problem with that) and the owners will not be living there or nearby to be on call to handle problems.

We appreciate the township will continue to expand outwards but Spring Flat residents generally moved here for its rural pursuits and beautiful, peaceful rural setting . Recent planning decisions

by council and NSW Planning have reinforced the amenity of the area and the residents of the area should be protected from unreasonable adverse impacts. We regret to say that this DA as it stands leaves potential for unreasonable impacts to the environment of the area and the quality of living for nearby residents.

We appreciate having the opportunity to express our concerns.

Michael and Diane Suttor

[REDACTED]
[REDACTED]

Noise

The potential noise impact has been one of the most contentious issues associated with the proposed development. The complainants argue that noise will travel to their property, with the primary concerns being around amplified music/sound and crowd chatter during events plus vehicles entering and exiting the property.

Response

- A Noise Impact Assessment has been commissioned by a suitable consultant and will be provided to Council in due course.
- Venue owners propose that suitably calibrated noise monitoring equipment will be used during each wedding or party events to record sound pressure levels within the function centre, to ensure compliance with the maximum allowable noise level at sensitive receptors. The results will be recorded and kept by the owners.
- Venue owners propose that any amplified sound e.g. microphones/ speakers be restricted to inside the function centre only after 9pm and are not used elsewhere on the property.
- Venue owners propose that the function centre is enclosed (e.g all sides/ doors closed) from 9pm to significantly restrict noise travel.
- Venue owners will recommend to all event hosts that local transport is provided for event guests e.g. local mini bus/coach to transport guests to and from the venue. This will reduce noise impact & mitigate traffic concerns detailed below.
- Venue owners propose reducing the number of events per year from 100 to 60 to help mitigate the noise concern.
- Venue owners propose reducing the number of guests attending each event from 150 to 120 to help mitigate the noise concern.

Hours of operation

Concerns were raised that a midnight end time is too late. This concern was directly related to noise impacts.

Response

- The development application states that music will finish by 11pm. As music amplification is the primary noise concern, this addresses the concern.
- A Noise Impact Assessment has been commissioned by a suitable consultant and will be provided to Council in due course.

Event Management and provision of alcohol

There are concerns regarding the management of events. Specifically, these concerns relate to who will be responsible for the events, potential lack of involvement from venue owners and a lack of clarity on the distribution and consumption of alcohol.

Response

- Venue owners are based permanently in Mudgee and will reside at the property. Venue owners and will be available and contactable at all times during an event.
- Venue owners or a dedicated events manager (to be hired by venue owners if required) will be in attendance and managing all events.
- Venue owners are RSA accredited.
- Any alcohol will only be distributed by the venue owners or any third party RSA accredited persons, in line with RSA guidelines.

Land zoning

Concerns were raised that the development of a function centre is incompatible with intended land use in RU4 Primary Production Small Lots pursuant to MWRLEP 2012.

Response

- The proposal does not significantly impact upon the ability of the land to be used for the purposes of primary production or other compatible land uses.
- The proposal will not hinder employment opportunities in relation to the primary industry enterprises operating within the area.
- The proposal will not result in any significant conflict with adjoining land uses subject to compliance with conditions of the consent.
- The proposal will not hinder the use of the site for the purposes of intensive plant agriculture. The function centre and infrastructure are located close to the residential property.
- The proposed development is a permissible form of development in the RU4 zone.

Road

There are several concerns that Spring Flat Road, as a minor road, will be unable to cope with a potential increased use due to increased traffic and degradation of the road. In addition, there is an isolated concern that guests originating from cities specifically will find this particular road challenging and may also resort to drink driving.

Response

- A Traffic Impact Assessment has been commissioned by a suitable consultant and will be provided to Council in due course.
- The construction and condition of the road is a matter for Council to manage and undertake appropriate maintenance. The proposed development is not considered to result in a significant increase in traffic volumes sufficient to warrant this development providing for upgrade and maintenance works.
- Reckless drivers are a matter for Police enforcement and control and cannot be attributed solely as a requirement for this developer to manage.
- The road is used twice daily by a local school bus (MAO4 Carcalgong Route). This suggests the local community, residents and council have confidence in the quality of the road, both in relation to its material and safety.

- Spring Flat Road is used daily by large farming and agricultural vehicles, accessing neighbouring properties for agricultural purposes. The venue owners have not been made aware of any community issues or concerns regarding dust or road degradation since owning the property. Neither have they experienced this problem at their property.
- Prior to purchasing the property in Spring Flat in early 2019, the venue owners have only ever resided in city environments, both in the UK and Australia and have not incurred any problems navigating Spring Flat Road or any other minor roads to date in relation to the ability of city drivers.

Waste Disposal

There is a concern that the Queens Pinch Road waste facility will be unable to cope with the increased use.

Response

- The quality and capacity of the Queens Pinch Road waste facility is a matter for council to manage. The proposed development is not considered to result in a significant increase in waste, to warrant this development providing for upgrade and maintenance works.
- The venue owners will encourage all functions to manage waste responsibly with a strong recommendation for recycling.
- The venue owners will dispose of all waste lawfully, at a licensed facility.

Fire Risk

There is an isolated concern that a function centre may cause increased fire risk.

Response

- Venue owners will develop a hazard, safety and fire management one month prior to the initial event.
- The site is not prone to bush fire hazards

PLANNING PROPOSAL

**686 Queens Pinch Road
Mullamuddy
– Lot 39 DP756870**

January 2021



ATLAS
ENVIRONMENT & PLANNING

Emma Yule t/a Atlas Environment and Planning (Atlas), responsible for the preparation and contents and information provided within this report declare that there is no current benefit nor expect to have a beneficial interest in the study area of this project and will not benefit from any of the recommendations outlined in this report.

The preparation of this report has been in accordance with the project brief provided by the client and has relied upon the information, data and results provided or collected from the sources and under the conditions outlined in the report.

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VERSION AND AMENDMENT CONTROL HISTORY

VERSION	DATE	DESCRIPTION	QA/QC
001	JAN 2021	DRAFT FOR CLIENT REVIEW	CLIENT
002	JAN 2021	FINAL	EY



1 OBJECTIVES AND INTENDED OUTCOMES OF THE PROPOSAL

1.1 STATEMENT OF INTENDED OUTCOMES

This planning proposal is intended to:

- Enable the land Lot 39 DP756870 (approximately 16.2ha (40acres)) to be provided with opportunity for a dwelling entitlement.

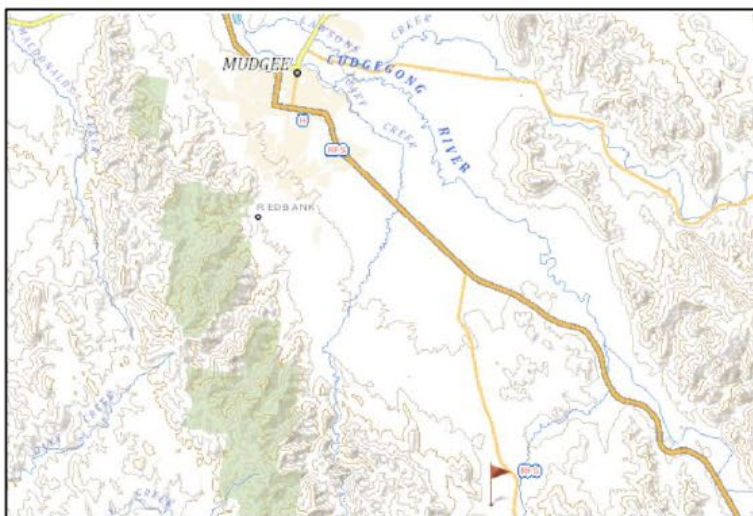


Figure 1: Location Plan

(Source: SIX Maps)



Plate 1: View to north east from subject land



1.2 DETAILS OF THE PROPOSED DEVELOPMENT AND CONCEPT PLAN

The purpose of this planning proposal is to make the necessary amendments to the Mid-Western Regional Local Environmental Plan 2012 (MWRLEP 2012) to enable the creation of one new dwelling entitlement. The land is located partially within mapped land identified as a Rural lifestyle opportunity in the Mid-Western Regional Comprehensive Land Use Strategy, which outlines suitable areas for rural residential expansion around Mudgee – Long term area - Sector J.

The provision of an entitlement will not impact upon the supply of rural residential land, as one new entitlement will not serve to address demand in any significant manner. With the 40 acres held as single standalone rural lot surrounded by other smaller rural allotments with dwellings, the provision of an entitlement will be consistent with the adopted long-term strategic vision for the locality. The dwelling entitlement will contribute positively to land management. The identification of the future rural lifestyle opportunity for this area has been known and adopted by Council for many years; together with the existing land use pattern and ownership, these aspects hinder any potential for land consolidation. The entitlement will be inline with the unique rural character formed at the Mullamuddy locale, with rolling foothills supporting mixed primary production land uses on small allotments with established residents.

The lot is of a size sufficient to be able to incorporate an on-site sewage management system (OSSM) and have an individual bore for a domestic water source and rely upon rainwater as the source of primary potable water. A site analysis has been prepared, which also details the likely development outcome for the site taking into consideration existing road access, servicing, and topography and amenity considerations. Grazing of the land is proposed to continue with a spring fed dam located within the lot.

The existing titles in surrounding land has already seen the take up of opportunity for dwelling entitlement. The subject lot is not dissimilar to the surrounding developed allotments and this proposal is compatible with the adjoining land uses. The 40 acres would be a genuine opportunity for a high quality rural/residential allotment with limited constraints or land use conflict.

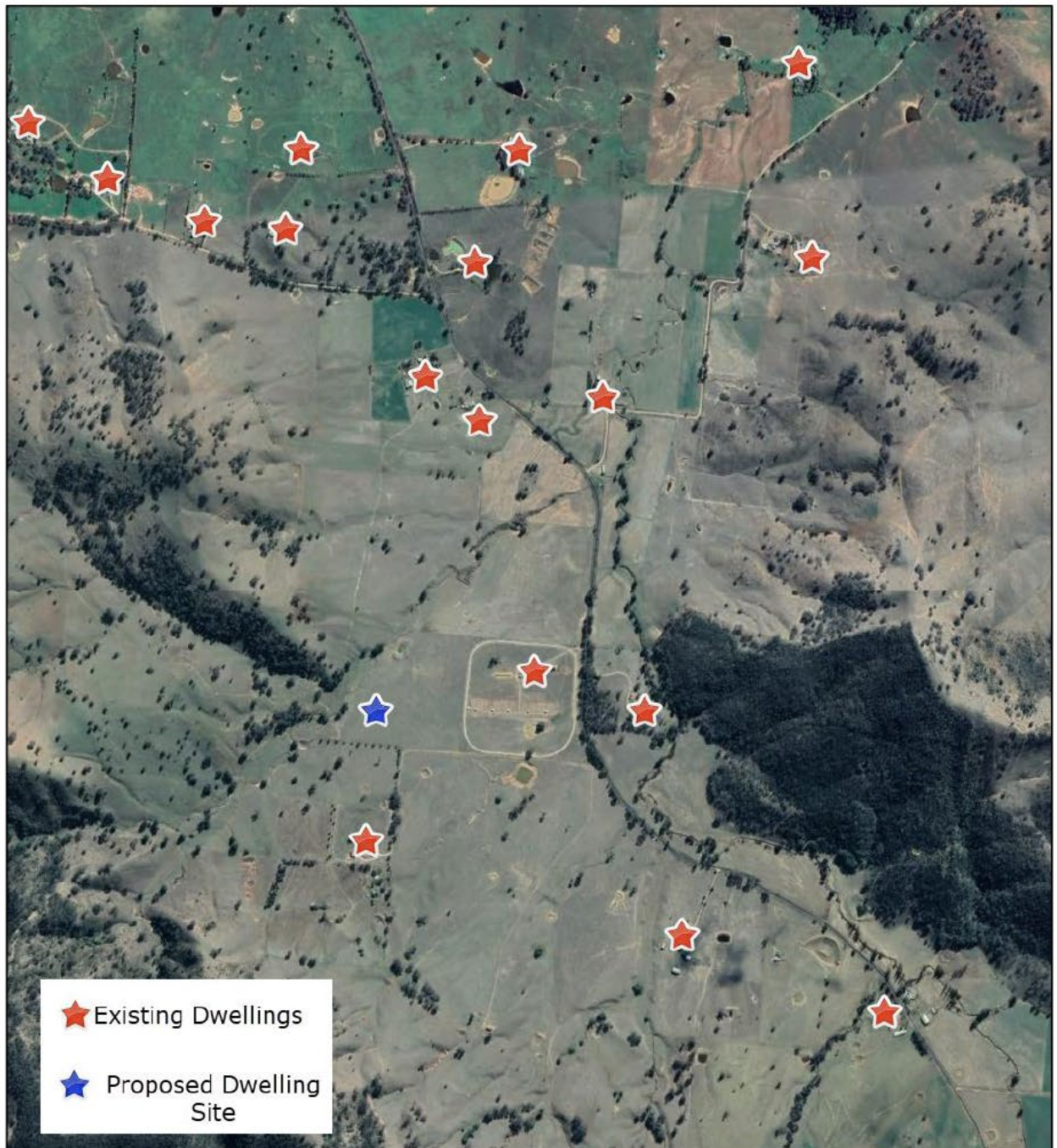


Figure 2: Aerial providing overview of dwelling locations in the locality

(Source: Base aerial plan from Google Earth imagery dated 13/8/2018)



2 EXPLANATION OF PROVISIONS

The following formal amendment to the MWRLEP 2012 is proposed to facilitate the intended outcomes of the proposal discussed in Part 1:

- Amend Schedule 1 to provide an additional permitted use for dwelling house subject to development consent at Lot 39 DP756870.

Alternatively, the land could be rezoned and/or Lot Size Map amended in the applicable sheets to permit a dwelling pursuant to *clause 4.2A Erection of dwelling houses and dual occupancies on land in certain zones*. This may be the best option if Council intends to proceed with implementation of the Strategy in a wider context. An amendment to the Schedule 1 is considered a reasonable option in this case, as the implementation of the Strategy is not hindered and provides a progression towards the long-term vision, without risk of prematurely releasing land for rural lifestyle opportunity.

3 JUSTIFICATION

This section sets out the reasoning and justification for the proposed changes to the MWRLEP 2012, which ultimately will lead to further development of the site in line with the stated intended outcomes outlined in Part 1.

The following questions are in line with the requirements set out by the NSW Department of Planning and Environment through their document *A Guide to Preparing Planning Proposals (State of New South Wales through the NSW Department of Planning and Environment December 2018)*.

SECTION A - Need for the planning proposal

Q1: Is the planning proposal a result of an endorsed local strategic planning statement, strategic study or report?

Answer: YES

The landowner has purchased the property with the understanding the land is included on the edge of the precinct J as identified in an endorsed Strategy.

The *Mid-Western Regional Comprehensive Land Use Strategy* (CLUS) prepared by Parsons Brinckerhoff and originally endorsed by Council in 2010 was developed to guide future land use planning in the Mid-Western Region and identify opportunities for growth.

The CLUS had recognised that the demand for rural lifestyle lots within the commuting distance of Mudgee was strong. The indicated an estimated 40-50 lots/annum should be treated as a target for rural lifestyle development. The supply of land was recommended based on mapping of Constraints and Opportunities and recommended timing based on locality. Short term 5-10 yrs; Medium Term 5-15 years (*we are currently in this period*) and Long-term 15-25 years.



An Urban Release Strategy was prepared for Mid-Western Regional Council (December 2014). However, Council has not developed a more comprehensive Rural Land Release Strategy. The CLUS indicates that mechanisms such as local provisions and lot size maps may be used to guide development. The opportunity areas identified were investigated with a minimum lot size of generally 12 hectares.

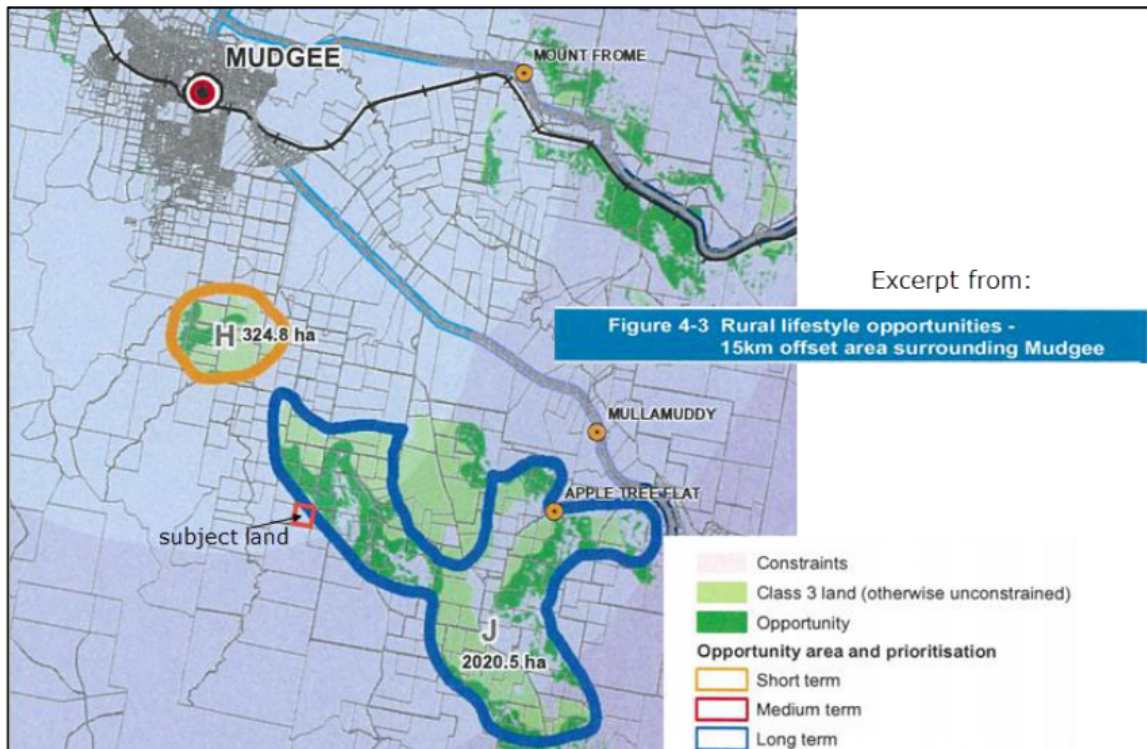


Figure 3: Excerpt from CLUS showing subject land in Precinct J – LONG TERM RELEASE AREA

The CLUS identifies the subject site (described as the precinct J to the south east of Mudgee) as a long-term opportunity to develop rural lifestyle lots with a minimum lot size of 12ha. Page 67 of the CLUS refers to the subject land. The CLUS was revised most recently February 2017 (revision E) to include criteria for identification of Rural Residential Development with a 2ha minimum in the Mid-Western Regional LGA. These criteria do not apply to this proposal however the principles have been considered as part of the site analysis process as a useful tool.

The CLUS was prepared prior to the development and implementation of the Comprehensive Local Environmental Plan consistent with the Standard Instrument (template). Short term recommendations were assumed in the Strategy to be implemented with this process, and further rural land release assessment for release of medium- and longer-term holding development. The Mid-Western Regional LEP 2012 was gazetted 10 August 2012. The LEP has been amended several times since and planning proposal processes used to implement the CLUS. Growth in demand for rural lifestyle opportunities has been experienced and Mudgee continues to experience population growth. Most



Planning Proposal – Mullamuddy

recently Council exhibited a *Mudgee Large Lot Residential Strategy* identifying potential Large Lot Residential Opportunities around Mudgee. This report also documents the strong demand for tree-changers moving from metropolitan areas, including demand specifically for smaller rural residential allotments. Evidence supports that the Council should continue to support implementation of the CLUS and further realisation of rural lifestyle opportunities.

Q2: Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Answer: YES

Consideration of a Development Application and use of *clause 4.6 Exceptions to development standards* as an alternative was considered. It is believed that the planning proposal with LEP amendment, is the necessary avenue to achieve the intended outcome. For Council to set a precedent for a reduction in min lot size for dwelling entitlement is not ideal unless in the context of supporting the CLUS. A Planning Proposal is put forward as the best way to avoid any potential risk for cumulative effects of similar approvals to undermine the objective of the min lot size requirement and the planning objectives for the RU1 zone.

Mid-Western Regional LEP 2012 - clause 4.6 Exceptions to development standards

(1) The objectives of this clause are as follows—

- (a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
- (b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

(2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.

Comment: Is the reduction of the mapped min. lot size for a dwelling a standard that is expressly excluded from operation of this clause?

No - Council may assume the Director General's concurrence in respect of an application to vary a development standard relating to the minimum lot size for the erection of a dwelling on land zoned RU1, RU2, RU3, RU4, RU6, R5, E2, E3 or E4 (or equivalent zone) only if: (a) only one allotment does not comply with the minimum area, and (b) that allotment has an area equal to or greater than 90% of the minimum area specified in the development standard.

Hence assumed concurrence is not available.

(3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating—

- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.*

Comment: The written request would be required in a Development Application.

(4) Development consent must not be granted for development that contravenes a development standard unless—

- (a) the consent authority is satisfied that—*
 - (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*



(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and

(b) the concurrence of the Planning Secretary has been obtained.

Comment: The objectives of the zone are able to be upheld with the future development of a dwelling, associated with ongoing primary production of the land. However, the objectives of the standard would need to be justified in the context of the adopted CLUS – i.e., minimum lot size of 100ha would be significantly varied supporting a dwelling on the subject land (16.2ha). MWRC would need to consider the public benefit of maintaining the standard as required below.

(5) In deciding whether to grant concurrence, the Planning Secretary must consider—

- (a) whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and
- (b) the public benefit of maintaining the development standard, and
- (c) any other matters required to be taken into consideration by the Planning Secretary before granting concurrence.

(6) Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone E2 Environmental Conservation, Zone E3 Environmental Management or Zone E4 Environmental Living if—

- (a) the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or
- (b) the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.

Note—

When this Plan was made it did not include Zone RU2 Rural Landscape.

(7) After determining a development application made pursuant to this clause, the consent authority must keep a record of its assessment of the factors required to be addressed in the applicant's written request referred to in subclause (3).

(8) This clause does not allow development consent to be granted for development that would contravene any of the following—

- (a) a development standard for complying development,
- (b) a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which [State Environmental Planning Policy \(Building Sustainability Index: BASIX\) 2004](#) applies or for the land on which such a building is situated,
- (c) clause 5.4.

SECTION B - Relationship to the strategic planning framework

Q3: Will the planning proposal give effect to the objectives and actions of the applicable regional, or district plan or strategy (including any exhibited draft plans or strategies)?

Answer: YES

Mid-Western Regional Council falls within the 'Central West and Orana Region' and has therefore been included in the *Central West and Orana Regional Plan 2036*.

The plan broadly identifies areas for more economical expansion and associated housing opportunities throughout the region, including the Mid-Western Regional LGA.

In particular, Goal 4 - Dynamic, vibrant and healthy communities, discusses various actions for more housing variety including Direction 28 'Manage rural residential development'.



Direction 28 aims to promote a consistent approach to identifying new areas for rural residential development. Whilst the site has already been identified within the CLUS as potential future rural lifestyle opportunity, the actions detailed in Direction 28 below are still considered relevant in supporting this planning proposal.

The actions are as follows:

ACTION 28.1 Locate new rural residential areas:

- *close to existing urban settlements to maximise the efficient use of existing infrastructure and services, including roads, water, sewer and waste services, and social and community infrastructure.*
- *to avoid and minimise the potential for land use conflicts with productive, zoned agricultural land and natural resources; and*
- *to avoid areas of high environmental, cultural or heritage significance, regionally important agricultural land or areas affected by natural hazards.*

Comment: The site is in proximity to Mudgee and therefore benefits from good connections and access to all the necessary services on offer and required for rural setting & one new housing opportunity envisaged. The minimisation of land use conflict has been identified as a key issue to review to identify land use suitability. In this case with vicinity to existing dwellings, existing land uses, and scale of the land parcels, potential risk of land use conflict can be managed. The land is not constrained by environmental or other natural hazards.

The CLUS, written prior to the Regional Plan, also identified the necessity of being in vicinity to the urban areas/villages. As detailed throughout this proposal there are no significant conflicts with the land and other surrounding uses and minimal constraints with regards to natural hazards or environmental considerations.

ACTION 28.2 Enable new rural residential development only where it has been identified in a local housing strategy prepared by Council and approved by the Department of Planning and Environment.

Comment: The CLUS (suitably approved) has identified this locality as suitable for future rural lifestyle development.

ACTION 28.3 Manage land use conflict that can result from cumulative impacts of successive development decisions.

Comment: No significant compatibility issues have been identified with the proposal with the additional rural lifestyle opportunity at Mullamuddy.

Q4: Is the planning proposal consistent with a council's local strategy or other local strategic plan?



Answer: YES

At Council's 20 May 2020 meeting, Council adopted the Local Strategic Planning Statement. The Mid-Western Regional Local Strategic Planning Statement (LSPS) outlines the vision for land use planning in the Mid-Western Region and details Planning Priorities along with Land Use Actions to achieve the Planning Priorities. The Land Use Actions outline where Council will focus its strategic land use planning project work in the future.

Planning priority 2 is most relevant to this proposal – i.e.

Make available diverse, sustainable, adaptable and affordable housing options through effective land use planning.

The LSPS supports maintenance of a variety of housing options across the Region. The proposal supports the provision of a variety in housing options close to the town of Mudgee. The planning proposal supports the implementation of the *Mid-Western Regional LSPS* and *Central West and Orana Regional Plan 2036*.

Comprehensive Land Use Strategy (CLUS)

The CLUS prepared on behalf of MWRC provides the most relevant guidance. The Strategy provides a basis for identifying options for MWRC to meet long term urban and rural growth needs. The CLUS also identifies the need for residential opportunities in a rural setting. As identified at Q1 - the CLUS identifies the subject site (described as the precinct J) as a long-term opportunity to develop rural lifestyle lots with a minimum lot size of 12ha. This proposal aligns with the CLUS.



Q5: Is the planning proposal consistent with applicable State Environmental Planning Policies?

Answer: YES

SEPP	Applicable/Consistency
State Environmental Planning Policy (Aboriginal Land) 2019	Not applicable to the proposal.
State Environmental Planning Policy (Activation Precincts) 2020	Not applicable to the proposal.
State Environmental Planning Policy (Affordable Rental Housing) 2009	Not applicable to the proposal.
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	Not applicable to the proposal.
State Environmental Planning Policy (Coastal Management) 2018	Not applicable to the proposal.
State Environmental Planning Policy (Concurrences) 2018	Not applicable to the proposal.
State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017	Not applicable to the proposal.
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	Not applicable to the proposal.
State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004	Not applicable to the proposal.
State Environmental Planning Policy (Infrastructure) 2007	Not applicable to the proposal.
State Environmental Planning Policy (Koala Habitat Protection) 2020	Not applicable at Planning Proposal stage. At development application consideration of any land clearing to consider potential for feed tree species. (Noting land is mostly cleared).
State Environmental Planning Policy (Major Infrastructure Corridors) 2020	Not applicable to the proposal.
State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007	Not applicable to the proposal.
State Environmental Planning Policy (Primary Production and Rural Development) 2019	See below.
State Environmental Planning Policy No 21—Caravan Parks	Not applicable to the proposal.
State Environmental Planning Policy No 33—Hazardous and Offensive Development	Not applicable to the proposal.
State Environmental Planning Policy No 36—Manufactured Home Estates	Not applicable to the proposal.
State Environmental Planning Policy No 50—Canal Estate Development	Not applicable to the proposal.
State Environmental Planning Policy No 55—Remediation of Land	See below.
State Environmental Planning Policy No 64—Advertising and Signage	Not applicable to the proposal.
State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development	Not applicable to the proposal.
State Environmental Planning Policy (State and Regional Development) 2011	Not applicable to the proposal.
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Not applicable to the proposal.



The following SEPP's are considered most relevant to the planning proposal.

State Environmental Planning Policy (Primary Production and Rural Development) 2019

The land is not identified as state significant agricultural land. No aquaculture developments are likely to be affected by the planning proposal. Schedule 4 does not apply as MWRLEP 2012 is a standard instrument. The use of the land for an additional rural lifestyle opportunity is appropriate considering vicinity of other rural residential land use and suitability of the land for this purpose.

A site analysis and constraints review has considered potential impact on agricultural land (refer to **Appendix A**). The site and surrounds are not considered 'state significant agricultural land' as identified in the SEPP.

State Environmental Planning Policy No 55 - Remediation of Land

SEPP 55 sets out requirements and procedures for the remediation of contaminated land during the development process. The SEPP would need to be considered by MWRC whilst assessing a development application for the site, which would likely be a development application for future dwelling application.

The land has been part of a larger grazing property. At present there does not appear to be any potentially contaminating activities occurring on site or any evidence of past activities. Whilst further consideration of the SEPP is not warranted until the lodgement of a development application, there does not appear to be any initial concerns that would arise from the site and further rural lifestyle development.



Q6: Is the proposal consistent with applicable Ministerial Directions (9.1 Directions)?

Answer: YES

The following Ministerial Directions are considered of relevance to the proposal.

1.2 Rural Zones

The Ministerial Direction essentially directs Council not to undertake a planning proposal to rezone land from a rural zone to a residential zone unless they are justified by a relevant study or strategy applicable to the site and circumstances.

As discussed elsewhere the site has already been included in the CLUS as suitable for future rural lifestyle development and is therefore considered to satisfy section (5) of this direction. This proposal suggests that a rezoning is not necessary with use of Schedule 1.

1.5 Rural Lands

The Ministerial Direction aims to protect the agricultural production value of rural lands, ensure land use conflicts are minimised to facilitate ongoing agricultural uses and ensure several other broad planning principles are addressed during the planning proposal process.

The subject land is surrounded by smaller holdings with rural residential land uses already occurring in vicinity. No new buffers would be required to be implemented that will hinder any rural land use. The likelihood of the land to be consolidated to meet a min lot size of 100ha is unlikely.

2.3 Heritage Conservation

The Ministerial Direction aims to protect places of Aboriginal and European heritage during the planning proposal process. No items of environmental heritage have been identified and a AHIMS has been undertaken (**Appendix B**) as a preliminary measure.

Appropriate mechanisms will be available through any future development approval processes to protect any items that are discovered during construction.

4.4 Planning for Bushfire Protection

The Ministerial Direction aims to ensure the relevant bushfire protection measures identified in the document *Planning for Bushfire Protection 2006* are applied to the proposal. The site is not identified on bushfire prone land mapping as being bushfire prone. There is no impediment to complying with the more recent provisions of *Planning for Bushfire Protection 2019*, which are expected to be adequately addressed through the development application stage for a dwelling in the future.

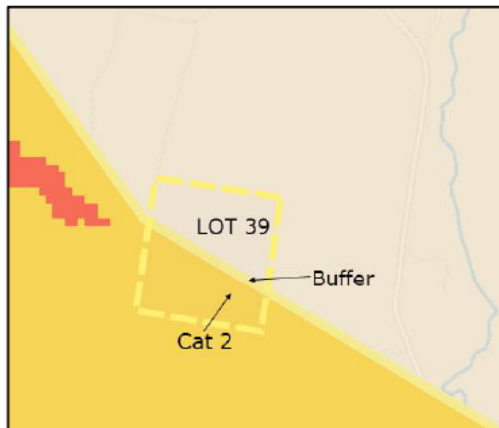


Figure 4: Bushfire Prone Land mapping in vicinity to Lot 39 (part mapped)

Though the proposal does not include subdivision, a new dwelling entitlement is proposed to be created and the principles should be applied.

The Bushfire Protection Measures (BPMs) for residential and rural residential subdivisions include measures relating to Asset Protection Zones (APZs), access to structures and water supply, fire trail access, and provision of water.

APZs	The lot is of size and dimensions to allow several building sites that can achieve APZ and be located wholly within the Lot title.
Access	<p>Provision of safe operational access to domestic structures and water supply for emergency services, while residents are seeking to evacuate from an area is the key intent.</p> <p>The subject land has access via unnamed road to Queens Pinch Road. The access road is with a reserve 20 wide. The gravel road is also currently shared for access to Lot 1 DP1222514 (with dwelling). Property access is two-wheel drive, all-weather road, that is of a width sufficient for passing. No issue is raised for the access to meet PBP 2019. Firefighting vehicles will be able to access the dwelling site and exit the property safely.</p>
Services	<p>Dedicated water storage capacity will be associated with a future dwelling proposal (min 20,000L).</p> <p>Extension of electricity services can comply with PBP 2019.</p> <p>Future use of gas (bottled) will need to be designed to comply with AS/NZS 1596:2014 - The storage and handling of LP Gas.</p>

5.10 Implementation of Regional Plans

The Ministerial Direction aims to ensure any planning proposal is consistent with the relevant regional plan. This issue has been addressed in this report and the planning proposal is considered consistent with the *Central West and Orana Regional Plan 2036*.

6.1 Approval and Referral Requirements



The Ministerial Direction aims to ensure that LEP provisions encourage the appropriate and efficient assessment of development. The planning proposal does not include LEP provisions that require further consultation or concurrence with other Departments.

No other Ministerial Directions are considered of relevance to the proposal.

Q7: Is there any likelihood that Critical Habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

Answer: UNLIKELY.

The property has no significant stands of vegetation and no area identified on Council's LEP mapping of being of high biodiversity significance (refer to figure below).

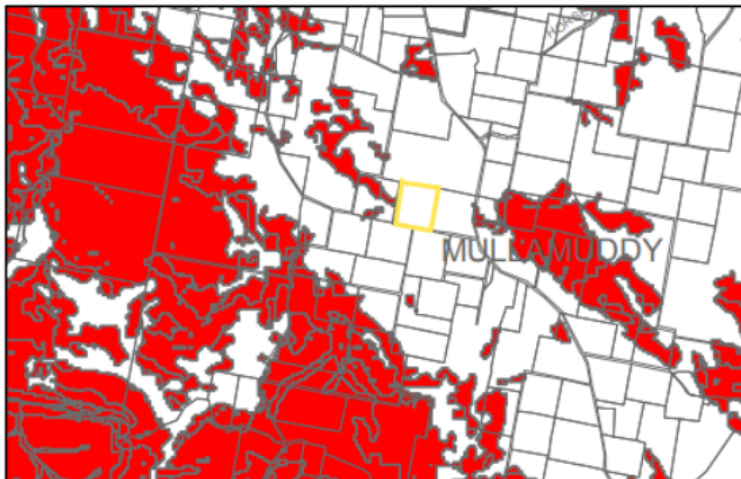


Figure 5: Biodiversity mapping

(Excerpt Sensitivity
Biodiversity Map - Sheet
BIO_006 MWRLEP 2012)

The site has been historically cleared for grazing with only a scattering of individual trees present across the site. It is expected that any existing these trees can remain on site without being impacted by future dwelling site and APZ. Additional plantings are likely to result with increase land management and domestic occupation. Further specific investigation is not warranted for the planning proposal stage.

Q8: Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

An initial assessment of the site and expected future development of one new dwelling will face minor environmental constraints.

Environmental aspects such as bushfire protection measures (BPMs) in dwelling design and effluent disposal and the like, can be addressed and mitigated at the development application stage for the



future dwelling. Lot size of 16.2ha will provide ample area for a dwelling with an OSSM and small farm rural activities. The proponent intends to continue with grazing activity on the land.

Visually Sensitive Land



Figure 6: Extract of CL1_006

(MWRLEP 2012)



Plate 2: View towards nearest property

"Sherwood" with dwelling, located to the south of the subject land.



Plate 3: View to east of existing neighbouring stables and dwelling at 640 Queens Pinch Road, Mullamuddy

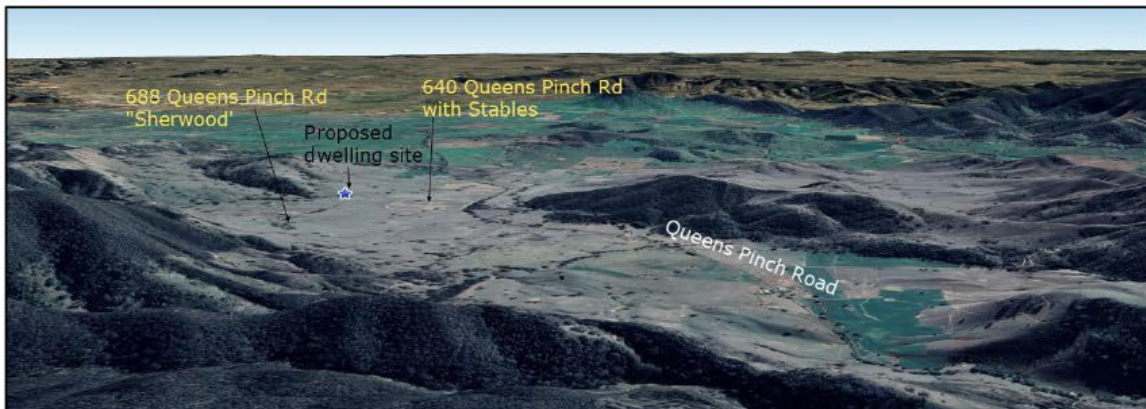


Figure 7: Depiction of site conditions within a valley with no impact on the views of the treed slopes

Clause 6.10 of the Mid-Western Regional LEP 2012 is required to be addressed in a future Development Application. The objective of this clause is to protect the visually and environmentally significant land on the urban fringe of the town of Mudgee.

The considered likely site location for a future dwelling can be complemented with aesthetically considerate design and use of natural materials and colours. The land is not likely to cause any visual intrusion with development in the valley being able to avoid any impact on the views of the tree line and elevated topography.



Adequate setbacks combined with planting of additional trees on the land (which has commenced), will screen a future dwelling and/or rural outbuildings from Queens Pinch Road and neighbouring properties. Refer to the site analysis in **Appendix A**.

Q9: How has the planning proposal adequately addressed any social and economic effects?

The proposal will contribute to additional rural housing choice in close vicinity to Mudgee and assist in managing the small holding. Future residents seeking the rural lifestyle with potential for second income, will enjoy the benefits of close vicinity of a town and facilities.

Q10: Is there adequate public infrastructure for the planning proposal?

Answer: YES

The site currently has option for electricity and telecommunications infrastructure that will be assessed for further extension at DA for dwelling stage. The necessary consultation with those authorities will be undertaken, however this is not considered to be a hindrance to further development of the site.

Water

The proposal for will not result in the need to connect to a reticulated water supply with rainwater harvesting considered the most effective means of supplying water to the future dwelling.

Roads

Minor increases in traffic will be expected from the proposal. The existing road infrastructure and access driveways can be checked for need for upgrade in accordance with the requirements of the *Mid-Western Regional Development Control Plan 2013* and further considered at DA stage. An initial review of the MWRDCP 2013 has not revealed any significant limitations or requirements for a and would be able to meet the requirements for a subdivided lot in the proposed R5 Large Lot Residential zone.

Sewer

The MWRDCP 2013 does not require this level of servicing. The land is expected to be of a sufficient size to cater for any on-site effluent disposal systems that would be required for a new dwelling.

Q11: What are the views of State and Commonwealth Public Authorities consulted in accordance with the gateway determination, and have they resulted in any variations to the planning proposal?

It is expected that MWRC will consult with the relevant Public Authorities and consideration of their views will be included.



4 MAPPING

MWRC has a Standard Instrument LEP in force and new mapping should be carried out consistent with the requirements of the standard technical requirements for LEP maps. The land subject of the planning proposal is included within Land Zoning Map LZN_006 and LZN 006 as shown below. The mapping may not require to be amended with an amendment to Schedule 1.

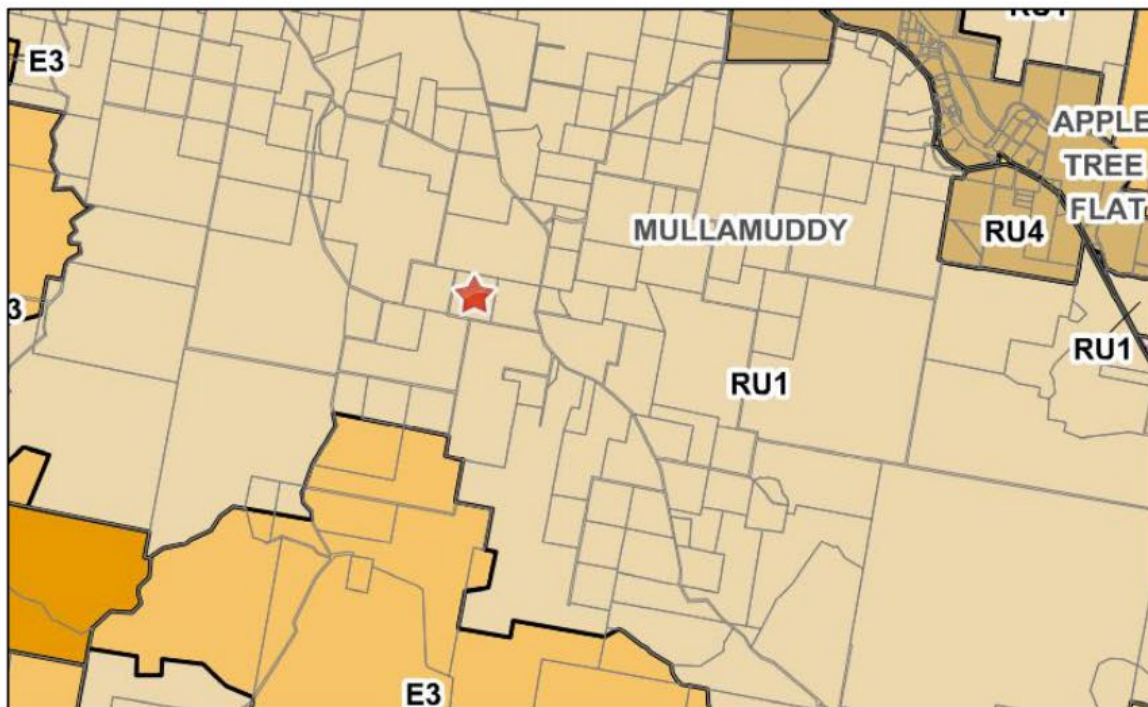


Figure 8: Extract of LZN_006

(MWR LEP 2012)

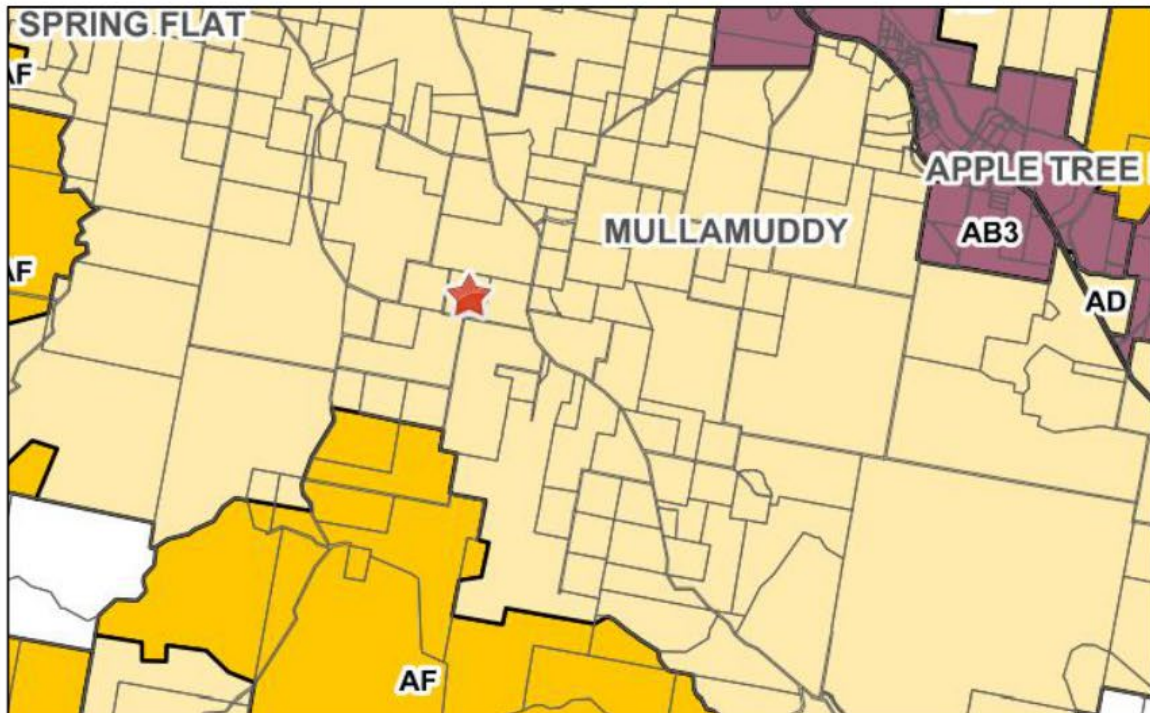


Figure 9: Extract of LSZ_006

(MWR LEP 2012)

Planning Proposal – Mullamuddy



5 COMMUNITY CONSULTATION

Community consultation for the planning proposal is expected be undertaken in accordance with the requirements set out in *A guide to Preparing Planning Proposals* (DoPE 2018).

It is expected MWRC will undertake the necessary consultations with the NSW Government as directed throughout the planning proposal process.

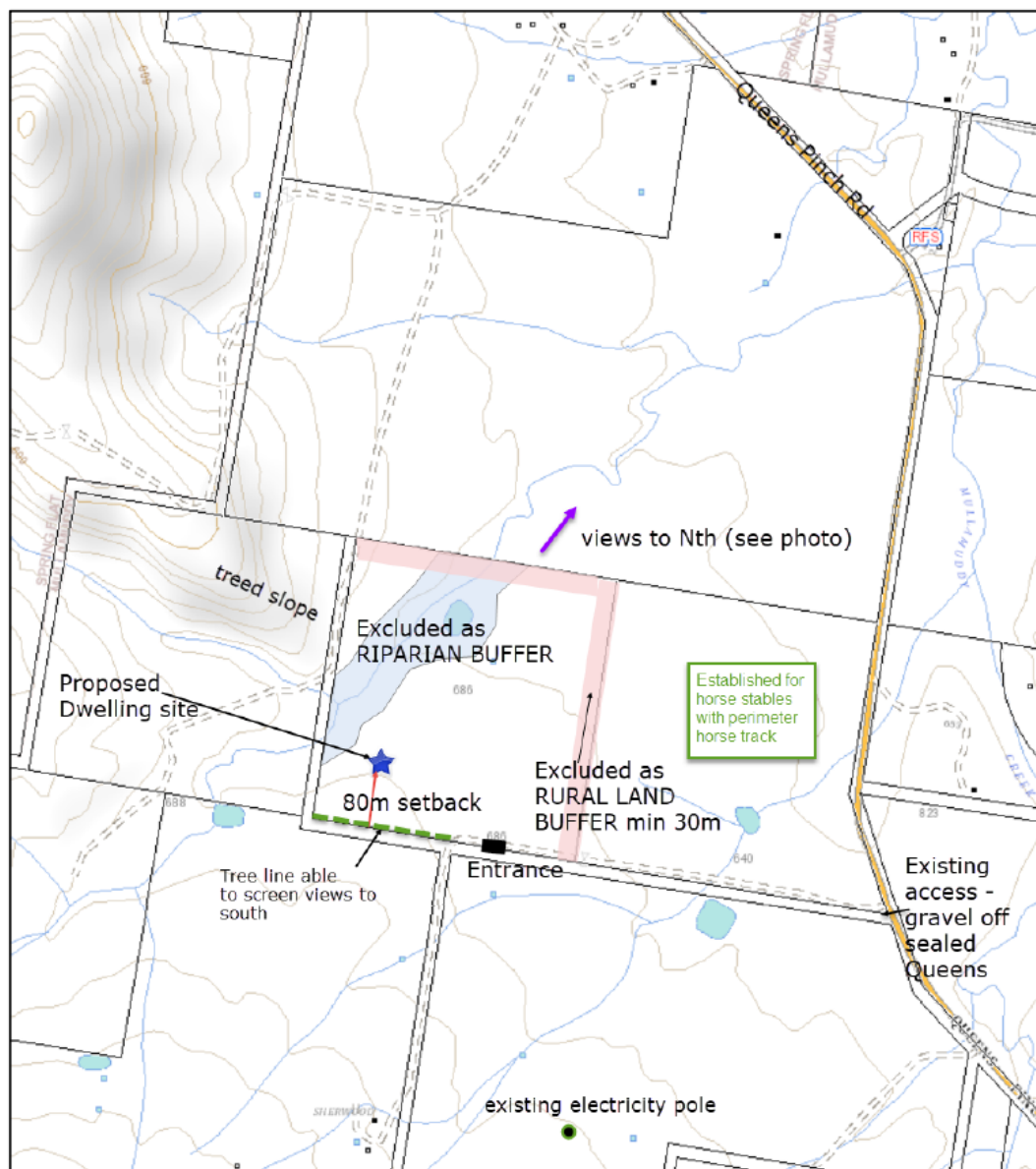
6 PROJECT TIMELINE

This will be prepared with MWRC, however there appears to be limited requirements moving forward to enact on the planning proposal outcomes.



Appendix A

Site Analysis



SITE ANALYSIS PLAN – KEY SITE FEATURES



Consideration of future capacity to comply with Council's Development Control Plan - Part 6 Development in Rural Areas - 6.1 Dwellings

<i>Primary Production Small Lots</i>	N/A – dwelling entitlement is not sought to be associated with an intensive plant agricultural enterprise.
<i>Dwellings on rural lots within the former Rylstone LGA</i>	N/A - This clause ensures that despite the Lot Size Map, a dwelling house may be erected on a lot with a minimum are of at least 40ha within the former Rylstone LGA.
<i>Services</i>	<p>Where the dwelling will be erected on a lot that is within 500m of an R1 General Residential or R2 Low Density Residential zone, it must:</p> <ul style="list-style-type: none"> • Be on a lot with have sealed road frontage and be connected to the sealed road network; and • connect to the reticulated water and sewer infrastructure. <p>This does not apply to the subject location surrounded by RU1 zoned land.</p>
<i>Dwellings adjacent to Village Zones</i>	Consideration will be given to applications for the erection of dwellings on existing lots within 500m of an RU5 Village zone where the lot has sealed road frontage and is connected to the sealed road network.

	N/A - the site is not within vicinity of a Village.																
<i>Building Setbacks</i>	<table><tr><th>Zone</th><th>Street</th><th>Side/Rear</th><th>Secondary Frontage for Corner Lots *</th></tr><tr><td>R5 Less than or equal to 5ha. in area</td><td>30m</td><td>20m</td><td>15m</td></tr><tr><td>RU1, RU4 and R5 Greater than 5ha. in area</td><td>60m</td><td>20m</td><td>15m</td></tr><tr><td>RU5</td><td>7.5m</td><td>BCA</td><td>3m</td></tr></table> <ul style="list-style-type: none">• Where the lot is located a Classified Road such as Ulan or Cope Road the front setback is 100m and side and rear setback is 20 metres.• Where the lot is located on the State Highway the front setback is 200 m and the side setback is 20 metres. <p>A future dwelling can comply with the RU1 setback requirements (as demonstrated on the site analysis plan).</p>	Zone	Street	Side/Rear	Secondary Frontage for Corner Lots *	R5 Less than or equal to 5ha. in area	30m	20m	15m	RU1, RU4 and R5 Greater than 5ha. in area	60m	20m	15m	RU5	7.5m	BCA	3m
Zone	Street	Side/Rear	Secondary Frontage for Corner Lots *														
R5 Less than or equal to 5ha. in area	30m	20m	15m														
RU1, RU4 and R5 Greater than 5ha. in area	60m	20m	15m														
RU5	7.5m	BCA	3m														
<i>Outbuildings and Farm buildings</i>	<p>Outbuildings including a farm building must not negatively affect the amenity of the streetscape or adjoining properties. The following standards apply for rural areas:</p> <table><tr><th>Lot size</th><th>Shed Size m2</th></tr><tr><td>Up to 5ha</td><td>150</td></tr><tr><td>Greater than 5ha and less than 40ha</td><td>200</td></tr><tr><td>Greater than 40ha</td><td>500</td></tr></table> <p>The site could accommodate a shed without dwelling approval and comply with the DCP and the SEPP(Exempt and Complying Development Codes).</p>	Lot size	Shed Size m2	Up to 5ha	150	Greater than 5ha and less than 40ha	200	Greater than 40ha	500								
Lot size	Shed Size m2																
Up to 5ha	150																
Greater than 5ha and less than 40ha	200																
Greater than 40ha	500																

The site is able to comply with the DCP provisions and will be able to support a dwelling associated with rural land use without negative impact on neighbours.





Appendix B

AHIMS SEARCH RESULTS



Client Service ID : 560194

Date: 10 January 2021

0 Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette](http://www.nsw.gov.au/gazette) (<http://www.nsw.gov.au/gazette>) website. Gazettal notices published prior to 2001 can be obtained from Office of Environment and Heritage's Aboriginal Heritage Information Unit upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Office of Environment and Heritage and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date .Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

Events Assistance Funding Application 2021 / 2022

#1

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Thursday, March 04, 2021 1:33:13 PM
Last Modified: Thursday, March 04, 2021 3:09:36 PM
Time Spent: 01:36:22
IP Address: 120.154.110.15

[View Full Screen](#)

Page 2: CONTACT DETAILS

Q1

Period 1 - Events held between July 1 2021 - Dec 31 2021

Which period of Events Assistance are you applying for?

Q2

Please enter your contact details below:

Name: Ross Hearne
Organisation: Rotary Club of Mudgee
ABN: 24028521787
Address: [REDACTED]
Suburb: [REDACTED]
State: NSW
Post Code: 2850
Email Address: [REDACTED]
Phone Number: [REDACTED]

Q3

Bank Details for cash component of grant

Account Name: Rotary Club of Mudgee
BSB: [REDACTED]
Account Number: [REDACTED]

Q4

Which of the below apply to your organisation?

Are you registered for GST? No
Is your organisation incorporated? Yes
Is your organisation not-for-profit? Yes

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

Rotary_9670_GPL_CoC_2020-21_Mudgee.pdf (207.9KB)

Q6

Please upload high resolution images in relation to your event (Maximum file size 16MB)

IMG_4257.jpeg (2.8MB)

Q7

Please provide website details and social media handles

Website: www.gardensofmudgee.org.au

Facebook Page: <https://www.facebook.com/gardensofmudgee>

Page 3: EVENT INFORMATION

Q8

Name of event:

Gardens Of Mudgee

Q9

Date / Time

16/10/2021 10:00

What is the event start date?

Q10

Number of days event is held:

2

Q11

Event location:

Various Mudgee region gardens

Q12

No

Is the event being held on Council land or venue?

Events Assistance Funding Application 2021 / 2022

Q13

Respondent skipped this question

Has a booking form been completed or a request to book been made?

Q14

Respondent skipped this question

Does the booking relate to Glen Willow?

Page 5

Q15

Respondent skipped this question

Please select all areas of the facility you wish to use in your booking?

Q16

Date

20/10/2018

What year was the event established?

Q17

Annual

How often is the event held?

Q18

Has your event previously received funding from Council?

Yes,

If yes, please list year(s) of funding and amount(s) received::

2018,2019

Q19

Yes

Do you wish to apply for multi-year funding?

Page 6

Q20

2021,

Please select the years you are applying for funding for -

2022,

2023

Q21

Event description:

In 2018 the Club identified an opportunity in the Mudgee region for there to be an annual Garden Show (the Mudgee Garden Spectacular) which has proved popular with both local residents and visitors to the area in its first two years (2020 event cancelled due to Covid). Re-branded in 2020 as Gardens of Mudgee, the event complements other garden based activities in Spring in Mudgee including Sculptures in the Gardens, and the emphasis by Council on attractive parks and gardens in this period. Six local gardens will be open for the weekend, charging \$25/person to visit all gardens or \$5/garden. Participating gardens have been selected and have not been open before in the Rotary show.

Events Assistance Funding Application 2021 / 2022

Q22

Event aims and objectives:

- . to continue to grow the Gardens of Mudgee show to become a premiere gardening event in the Central NSW region
- .to maintain a significant source of on-going funding for Rotary projects which directly benefit the local community

Q23

Desired outcomes of event:

- . to continue to establish a reputation with gardeners, the community and regional Garden Clubs as a show worthy of visiting the town for an annual visit.
- . to raise funds for Rotary projects in the Mudgee area that promote community health and education.

Q24

500 - 1,000 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors	300
Overnight visitors	300

Q26

What methods do you use to collect data on attendance and visitor numbers?

Ticket sales / Entries,
Crowd counters,
Other (please specify):
Website data analytics

Q27

How do you plan to promote or market the event?

PR,
Posters,
Flyers,
Social media,
Print advertising ,
Street banners/flags,
Radio Advertising,
Other (please specify):
Website, roadside signage

Events Assistance Funding Application 2021 / 2022

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	\$2,000 per annum for 3 years
Expected Sales Revenue (including entry/ticket sales):	\$10,000
Contribution from your Organisation/Club:	0
Sponsorship:	in-kind items eg cool rooms,generators, toilets, signage, subsidised printing of flyers and posters
Stallholder Fees:	0
Other Grant funding received:	0
Total Income:	\$12,000

Q29

Please provide details of your event expenditure:

Marketing:	Dependent on support <\$1,500 to \$3,500
Venue Hire:	0
Event Infrastructure:	\$1,000
Waste Management:	0 - volunteer labour
Traffic Control:	0 - volunteer labour
Staff Costs:	0 - volunteer labour
Other 1:	Programmes, flyers and brochures \$1,000
Other 2:	Banners \$1,000

Q30

Total Surplus/Deficit:

\$	\$5,500 - \$8,000 dependent on attendance
----	---

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

Surplus funds will be used to support local Rotary projects in the community. Groups assisted in past years include Riding for the Disabled, NALAG(National association for Loss and Grief), Western Care Lodge (Orange Hospital accommodation for out-patients), We Care.

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

Funds sought under this application will, once again, be used to further increase the reach and quality of event marketing to draw as many visitors as possible and to further increase local participation. The strategy of producing quality marketing material will be continued. A grant of \$2,000 from Council significantly assists this strategy and enhances the likelihood of continued event growth. The scalability of the event ensures continued growth results in coverage of expenses and funding benefits to local organisations as well as benefits to local businesses and reputational benefits to Mudgee as a premiere NSW tourist destination

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application (e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges ([click here](#)) for amounts.

Venue Hire Fee	0
Traffic Management	Advice ex Council in 2018 and 2019 has been that Traffic Management is not required
Waste Management	Managed by Rotary volunteers
Total:	0

Q34

Please provide details of CASH support requested AND dollar amounts: For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Marketing Materials	\$1,000
Salaries	0
Prizes	0
Catering	0
Other	\$1,000
Total:	\$2,000

Page 9: AUTHORISATION OF APPLICANT

Q35

Authorisation of Applicant:

Name:	Ross Hearne
Position	Secretary, Organising Committee-Gardens of Mudjee
Date:	4 March 2021

Events Assistance Funding Application 2021 / 2022

Q36

I confirm:

that the information contained in the application form and within the attachments are true and correct.

,

that this application has been submitted with the full knowledge and support of the applicant.

,

a copy of the event COVIDSafe plan will be provided before funding is received

,

a copy of current insurance in relation to the event date, will be provided before funding is received

#5

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Friday, March 12, 2021 11:35:42 AM
Last Modified: Friday, March 19, 2021 3:40:36 PM
Time Spent: Over a day
IP Address: 220.244.40.90

Page 2: CONTACT DETAILS

Q1

Period 1 - Events held between July 1 2021 - Dec 31 2021

Which period of Events Assistance are you applying for?

Q2

Please enter your contact details below:

Name: Cassandra Stanford
Organisation: AREC
ABN: 83407072426
Address: 267 Ulan Rd
Suburb: Bombira
State: NSW
Post Code: 2850
Email Address: [REDACTED]
Phone Number: [REDACTED]

Q3

Bank Details for cash component of grant

Account Name: AREC
BSB: [REDACTED]
Account Number: [REDACTED]

Q4

Which of the below apply to your organisation?

Are you registered for GST? Yes
Is your organisation incorporated? Yes
Is your organisation not-for-profit? Yes

Events Assistance Funding Application 2021 / 2022

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

AREC CoC at 22122020.pdf (92.1KB)

Q6

Please upload high resolution images in relation to your event (Maximum file size 16MB)

Screen saver aerial 2019.jpg (3.4MB)

Q7

Please provide website details and social media handles

Website:	mudgeefielddays.com.au
Facebook Page:	www.facebook.com/mudgeesmallfarmfielddays
Other:	www.arec.com.au

Page 3: EVENT INFORMATION

Q8

Name of event:

Mudgee Small Farm Field Days

Q9

Date / Time 09/07/2021 08:30

What is the event start date?

Q10

Number of days event is held:

2

Q11

Event location:

267 Ulan Rd, Bombira 2850

Q12

No

Is the event being held on Council land or venue?

Events Assistance Funding Application 2021 / 2022

Q13

Respondent skipped this question

Has a booking form been completed or a request to book been made?

Q14

Respondent skipped this question

Does the booking relate to Glen Willow?

Page 5

Q15

Respondent skipped this question

Please select all areas of the facility you wish to use in your booking?

Q16

Date

01/09/1977

What year was the event established?

Q17

Annual

How often is the event held?

Q18

Has your event previously received funding from Council?

Yes,

If yes, please list year(s) of funding and amount(s) received::

2019 \$2,500 2018 \$2,500 2017 \$2,500 etc

Q19

Yes

Do you wish to apply for multi-year funding?

Page 6

Q20

2021,

Please select the years you are applying for funding for -

2022,

2023

Q21

Event description:

Mudgee regions single largest annual event. Agricultural and lifestyle field day promoting innovation and sustainability in agriculture and rural lifestyles as well as offering an enjoyable event for the whole family.

Events Assistance Funding Application 2021 / 2022

Q22

Event aims and objectives:

Our aim is to promote innovation and sustainability in agriculture and rural living. Our mission is to inform, educate and connect rural people with information and solution providers.

Q23

Desired outcomes of event:

An enjoyable event for all who attend. An informative event for those seeking knowledge. A profitable event for businesses and community groups involved.

Q24

More than 2,000 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors	7800
Overnight visitors	4300

Q26

Ticket sales / Entries

What methods do you use to collect data on attendance and visitor numbers?

Q27

How do you plan to promote or market the event?

PR,
Posters,
Flyers,
Social media,
Print advertising ,
Street banners/flags,
Radio Advertising,
TV Advertising

Events Assistance Funding Application 2021 / 2022

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	2500
Expected Sales Revenue (including entry/ticket sales):	150000
Contribution from your Organisation/Club:	100000
Stallholder Fees:	297500
Total Income:	550000

Q29

Please provide details of your event expenditure:

Marketing:	30000
Event Infrastructure:	100000
Waste Management:	3000
Traffic Control:	6000
Staff Costs:	220000
Other 1:	141000

Q30

Total Surplus/Deficit:

\$	50000
----	-------

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

As a not-for-profit organisation, all profits go back in to upgrading and maintaining the facilities for future events.

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

It has been operating for over 40 years, primarily self funded.

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application(e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges (click here) for amounts.

Total:	0
--------	---

Events Assistance Funding Application 2021 / 2022

Q34

Please provide details of CASH support requested AND dollar amounts: For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Total: 2500

Page 9: AUTHORISATION OF APPLICANT

Q35

Authorisation of Applicant:

Name: Cassandra Stanford
Position: General Manager
Date: 19/03/21

Q36

I confirm:

that the information contained in the application form and within the attachments are true and correct.

,

that this application has been submitted with the full knowledge and support of the applicant.

,

a copy of the event COVIDSafe plan will be provided before funding is received

,

a copy of current insurance in relation to the event date, will be provided before funding is received

#4

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Thursday, March 18, 2021 9:51:00 PM
Last Modified: Thursday, March 18, 2021 10:56:33 PM
Time Spent: 01:05:32
IP Address: 120.153.171.206

Page 2: CONTACT DETAILS

Q1

Period 1 - Events held between July 1 2021 - Dec 31 2021

Which period of Events Assistance are you applying for?

Q2

Please enter your contact details below:

Name: Michele Adams/Amber Hooper
Organisation: Cudgegong Camera Club
ABN: Y9891641
Address: PO Box 1440
Suburb: Mudgee
State: NSW
Post Code: 2850
Email Address: 
Phone Number: 

Q3

Bank Details for cash component of grant

Account Name: Cudgegong Camera Club
BSB: 
Account Number: 

Q4

Which of the below apply to your organisation?

Are you registered for GST? No
Is your organisation incorporated? Yes
Is your organisation not-for-profit? Yes

Events Assistance Funding Application 2021 / 2022

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

CCC Insurance 20-21.pdf (93.6KB)

Q6

Respondent skipped this question

Please upload high resolution images in relation to your event (Maximum file size 16MB)

Q7

Please provide website details and social media handles

Website: www.cudgegongcameraclub.com.au

Facebook Page: <https://www.facebook.com/CudgegongCameraClub>

Other: Our WDACC event page is currently being built

Page 3: EVENT INFORMATION

Q8

Name of event:

Western Districts Association of Camera Clubs Interclub Competition

Q9

Respondent skipped this question

What is the event start date?

Q10

Number of days event is held:

3

Q11

Event location:

Various local Mudgee sites including Puttabucca Wetlands, Mudgee Town Centre, MUDRAG.

Q12

Yes

Is the event being held on Council land or venue?

Events Assistance Funding Application 2021 / 2022

Q13

No

Has a booking form been completed or a request to book been made?

Q14

No

Does the booking relate to Glen Willow?

Page 5

Q15

Respondent skipped this question

Please select all areas of the facility you wish to use in your booking?

Q16

Respondent skipped this question

What year was the event established?

Q17

Other (please specify):
Hoted annually by different Western District towns.
Mudgee last hosted in 2014.

How often is the event held?

Q18

No

Has your event previously received funding from Council?

Q19

No

Do you wish to apply for multi-year funding?

Page 6

Q20

Respondent skipped this question

Please select the years you are applying for funding for -

Events Assistance Funding Application 2021 / 2022

Q21

Event description:

Western Districts Association of Camera Clubs (WDACC)

Western Districts Association of Camera Clubs hosts a weekend interclub competition where both individuals and Club entries are judged and showcased. Current member clubs are Orange, Bathurst, Dubbo, Blayney, Parkes, Young, Hay, Goulburn, Grenfell, Harden/Murrumbarrah, Narrandera, Narromine and Mudgee.

Cudgegong Camera Club whose membership is drawn from Mudgee, Gulgong, Rylstone and Kandos has a very good history in this competition having in previous events won accolades in both the Interclub competition and the individual competition.

Mudgee was scheduled to host the event in 2020 but due to COVID restrictions it was deferred to this year 2021.

Q22

Event aims and objectives:

To showcase the Mudgee Region. The event is an opportunity for the host club to showcase their local area. It is an opportunity to share each other's enthusiasm and a love of photography through friendly competition, workshops, lectures and presentations, excursions and social activity all aimed at improving and displaying photographic skill.

Q23

Desired outcomes of event:

To host a memorable event through the promotion of our local area by providing quality speakers, educational experiences - an event which raises the bar

Q24

Less than 500 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors	50
Overnight visitors	200

Q26

Ticket sales / Entries

What methods do you use to collect data on attendance and visitor numbers?

Q27

PR,

How do you plan to promote or market the event? Social media

Events Assistance Funding Application 2021 / 2022

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	\$2,000
Expected Sales Revenue (including entry/ticket sales):	\$1,500
Contribution from your Organisation/Club:	\$1,000
Sponsorship:	\$500
Total Income:	\$6,000

Q29

Please provide details of your event expenditure:

Marketing:	\$500
Venue Hire:	not known at this stage
Other 1:	Accommodation and speakers - \$3,500
Other 2:	Trophies, printing - \$800

Q30

Total Surplus/Deficit:

\$ 0.00

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

We have set our budget at \$6,000. Much of the event is still in the planning stage trying to lock in speakers/ presenters which all need to travel and be accommodated. Planned events to date include Mudgee Observatory, Puttabucca Wetlands, Holtermann Museum, Steve Mini & Chucky exhibition, annual dinner. It is difficult to predict costs precisely at this time.

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

It is a once off event where Cudgegong Camera Club only host every 6 years or so. Last hosted in 2014.

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application (e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges ([click here](#)) for amounts.

Venue Hire Fee MUDRAG - cost unknown at this time

Events Assistance Funding Application 2021 / 2022

Q34

Please provide details of CASH support requested AND dollar amounts: For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Marketing Materials	\$500
Prizes	\$500
Catering	\$1,000
Materials and supplies	\$300
Other	\$200
Total:	\$2,500

Page 9: AUTHORISATION OF APPLICANT

Q35

Authorisation of Applicant:

Name:	Amber Hooper / Michele Adams
Position	President / Secretary
Date:	18/03/2021

Q36

I confirm:

that the information contained in the application form and within the attachments are true and correct.

,

that this application has been submitted with the full knowledge and support of the applicant.

,

a copy of the event COVIDSafe plan will be provided before funding is received

,

a copy of current insurance in relation to the event date, will be provided before funding is received

#3

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Sunday, March 14, 2021 8:54:23 AM
Last Modified: Sunday, March 14, 2021 9:47:04 AM
Time Spent: 00:52:40
IP Address: 101.180.39.102

Page 2: CONTACT DETAILS

Q1

Which period of Events Assistance are you applying for?

Period 1 - Events held between July 1 2021 - Dec 31 2021

Q2

Please enter your contact details below:

Name: John Stuart
Organisation: Cudgegong Cruisers Inc
Address: 
Suburb: 
State: NSW
Post Code: 2850
Email Address: 
Phone Number: 

Q3

Bank Details for cash component of grant

Account Name: Cudgegong Cruisers Inc
BSB: 
Account Number: 

Q4

Which of the below apply to your organisation?

Are you registered for GST? No
Is your organisation incorporated? Yes
Is your organisation not-for-profit? Yes

Events Assistance Funding Application 2021 / 2022

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

31012021 Australian National Street Machine Association Certificate of Currency - Cudgegong Cruisers Can Cruise 2021 MWRC.pdf (182.3KB)

Q6

Respondent skipped this question

Please upload high resolution images in relation to your event (Maximum file size 16MB)

Q7

Please provide website details and social media handles

Website:

www.cudgegongcruisers.com.au

Facebook Page:

<https://www.facebook.com/Cudgegong-Cruisers-Inc-239891635592/?ref=ts>

Page 3: EVENT INFORMATION

Q8

Name of event:

Motorfest 2021

Q9

Date / Time

13/11/2021 20:05

What is the event start date?

Q10

Number of days event is held:

1

Q11

Event location:

Mudgee Showground

Q12

Yes

Is the event being held on Council land or venue?

Page 4

Events Assistance Funding Application 2021 / 2022

Q13 **No**

Has a booking form been completed or a request to book been made?

Q14 **No**

Does the booking relate to Glen Willow?

Page 5

Q15 **Respondent skipped this question**

Please select all areas of the facility you wish to use in your booking?

Q16 **Date** **26/09/2009**

What year was the event established?

Q17 **Other (please specify):**
Bi-Annually

How often is the event held?

Q18 **Yes,**
If yes, please list year(s) of funding and amount(s) received::
2019 \$1,310, 2017 \$4,000 included additional \$2,500 for FMX, 2015 \$1,500

Has your event previously received funding from Council?

Q19 **Yes**

Do you wish to apply for multi-year funding?

Page 6

Q20 **2021,**

Please select the years you are applying for funding for - **2023**

Q21

Event description:

Motorfest - Car, Truck and Motorbike Spectacular

Events Assistance Funding Application 2021 / 2022

Q22

Event aims and objectives:

The aim is to promote and attract visitors to the Midwestern Region, to showcase the massive collection of vintage, veteran, historic and muscle cars, motorbikes and trucks owned and loved within the MWRC region.

Q23

Desired outcomes of event:

To again stage a successful event which residents and visitors remember and want to return for future years.

Q24

1,000 - 2,000 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors 100

Overnight visitors 100

Q26

Ticket sales / Entries

What methods do you use to collect data on attendance and visitor numbers?

Q27

How do you plan to promote or market the event?

Posters,
Flyers,
Social media,
Print advertising ,
Street banners/flags,
Radio Advertising

Page 7: PROJECT BUDGET AND FINANCIAL DETAILS

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	\$2,500
Expected Sales Revenue (including entry/ticket sales):	\$8,000
Sponsorship:	\$3,000
Total Income:	\$13,500

Events Assistance Funding Application 2021 / 2022

Q29

Please provide details of your event expenditure:

Marketing:	\$2,000
Venue Hire:	\$1,150
Waste Management:	\$350
Other 1:	Donations to community groups who assist \$1,000
Other 2:	Entertainment \$6,000
Other 3:	Trophies and sundry \$2,000

Q30

Total Surplus/Deficit:

\$ \$1,000

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

Donations to local charities and additional equipment purchases for Cudgegong Cruisers Shed at Mudgee Showground

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

The event has been sustainable and additional sponsorship is a possibility in future years however Covid has reduced the ability to obtain sponsorship due to its impact on business.

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application(e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges (click here) for amounts.

Venue Hire Fee	\$1,150
Waste Management	\$350
Total:	\$1,500

Q34

Please provide details of CASH support requested AND dollar amounts:For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Marketing Materials	\$1,000
Total:	\$1,000

Events Assistance Funding Application 2021 / 2022

Page 9: AUTHORISATION OF APPLICANT

Q35

Authorisation of Applicant:

Name:	John Stuart
Position	Treasurer
Date:	14 March 2021

Q36

I confirm:

that the information contained in the application form and within the attachments are true and correct.

,

that this application has been submitted with the full knowledge and support of the applicant.

,

a copy of the event COVIDSafe plan will be provided before funding is received

,

a copy of current insurance in relation to the event date, will be provided before funding is received

From: [REDACTED]
To: [Council](#)
Cc: [Joanna Lindsay](#)
Subject: Event Assistance Application Motorfest 2021
Date: Wednesday, 24 March 2021 8:22:40 AM

Hi

I recently submitted an application on behalf of Cudgegong Cruisers for event assistance for Motorfest 2021

In the application I sought in kind assistance for showground hire & bin removal as well as cash
We will be revamping the entertainment to reduce costs so would you please remove the cash component request from the application.

The club will meet all other costs

Thanks

John

Treasurer Cudgegong Cruisers

John Stuart
119 Saints Lane
St Fillans NSW 2850
0408 819360

Events Assistance Funding Application 2021 / 2022

#6

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Saturday, March 06, 2021 1:25:20 PM
Last Modified: Saturday, March 20, 2021 2:18:29 PM
Time Spent: Over a week
IP Address: 175.45.149.5

Page 2: CONTACT DETAILS

Q1

Period 1 - Events held between July 1 2021 - Dec 31 2021

Which period of Events Assistance are you applying for?


Q2

Please enter your contact details below:

Name: Giselle Denley
Organisation: Mudgee Triathlon Club
ABN: 44271323962
Address: PO Box 802
Suburb: Mudgee
State: NSW
Post Code: 2850
Email Address: 
Phone Number: 

Q3

Bank Details for cash component of grant

Account Name: St.George
BSB: 
Account Number: 

Q4

Which of the below apply to your organisation?

Are you registered for GST? No
Is your organisation incorporated? Yes
Is your organisation not-for-profit? Yes

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

Mudgee Running Festival - 2020 CoC.pdf (1.3MB)

Q6

Please upload high resolution images in relation to your event (Maximum file size 16MB)

MRF_Logo_2021.pdf (37.8KB)

Q7

Please provide website details and social media handles

Website: <https://mudgeerunningfestival.com.au/>

Facebook Page: **Mudgee Running Festival**

Page 3: EVENT INFORMATION

Q8

Name of event:

Mudgee Running Festival

Q9

Date / Time

22/03/2021 07:00

What is the event start date?

Q10

Number of days event is held:

1

Q11

Event location:

Lawson PArk Mudgee

Q12

Yes

Is the event being held on Council land or venue?

Page 4

Events Assistance Funding Application 2021 / 2022

Q13

Yes

Has a booking form been completed or a request to book been made?

Q14

No

Does the booking relate to Glen Willow?

Page 5

Q15

Respondent skipped this question

Please select all areas of the facility you wish to use in your booking?

Q16

Date

20/08/2000

What year was the event established?

Q17

Annual

How often is the event held?

Q18

Yes,

Has your event previously received funding from Council?

If yes, please list year(s) of funding and amount(s) received:
2015-2019 \$2500

Q19

Yes

Do you wish to apply for multi-year funding?

Page 6

Q20

2021,

Please select the years you are applying for funding for -

2022,

2023

Q21

Event description:

The Mudgee Running Festival involves a 5km and 10km fun run, and a half and full marathon running event. The fun run events promote participation in physical activity and engage the community to make use of community infrastructure such as parks, pathways and sporting fields. The half and full marathon offers a challenging course which weaves itself through the picturesque Mudgee Valley; past vineyards, farmland, grazing cattle, and a band of friendly and enthusiastic volunteers.

Q22

Event aims and objectives:

The Mudgee Running Festival (MRF) aims to reach a broad cross section of the community and wider areas. Locals of all ages benefit from being physically active in the preparation for, and participation in whichever event they are aiming for. One of our major objectives is to promote running and physical fitness within the local area. We are regularly seeing people finish a longer distance than they did the previous year. Visiting competitors are offered the challenge of running through the spectacular Mudgee scenery. The event itself is an officially measured distance and can be used as a pre-qualifying event for other races.

Q23

Desired outcomes of event:

Promoting tourism in the region. The 10km fun run , half and full marathon historically make up a large percentage of visitors to the region. The Mudgee region is renowned for its wine, local produce and scenery and the running festival integrates all of this as much as possible to promote the region and make the athletes experience enjoyable. The running course weaves itself through the picturesque Mudgee Valley, past vineyards and farming land. Donated prizes for category winners often include local wine or produce to help promote the region. The running festival encourages participants to stay within Mudgee for the weekend which helps add to the economic benefits to the region. The addition of 500 competitors plus their partners and children adds up to quite an influx for the weekend. As mentioned previously, the event encourages people to visit tourist attractions and local businesses.

Q24

500 - 1,000 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors	123
Overnight visitors	464

Q26

Ticket sales / Entries

What methods do you use to collect data on attendance and visitor numbers?

Events Assistance Funding Application 2021 / 2022

Q27

How do you plan to promote or market the event?

PR,
Posters,
Flyers,
Social media,
Print advertising ,
Street banners/flags,
Radio Advertising

Page 7: PROJECT BUDGET AND FINANCIAL DETAILS

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	2500
Expected Sales Revenue (including entry/ticket sales):	35000
Sponsorship:	5000
Total Income:	42500

Q29

Please provide details of your event expenditure:

Marketing:	6000
Venue Hire:	500
Event Infrastructure:	2000
Traffic Control:	1500
Staff Costs:	2000 Entertainment and MC
Other 1:	1500 Insurance
Other 2:	5000 Event Timing, Bibs and Chips
Other 3:	5000 Medals and Prizes

Q30

Total Surplus/Deficit:

\$	23500
----	-------

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

Surplus to budget each year is used for general expenses of running the Mudgee Triathlon Club throughout the summer season. The Mudgee Running festival is our major fundraiser of the year and helps keep the membership fees affordable for all our members. Funds also contribute to buying and maintaining equipment to meet club's growth.

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

The Mudgee Running Festival is growing in numbers each year and in 2019 we received a record number of entrants and the first time more than 1000 competitors registered for the event.

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application(e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges (click here) for amounts.

Traffic Management	2500
--------------------	------

Q34

Please provide details of CASH support requested AND dollar amounts: For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Marketing Materials	0
---------------------	---

Page 9: AUTHORISATION OF APPLICANT

Q35

Authorisation of Applicant:

Name:	Giselle Denley
Position	Secretary
Date:	20.3.21

Events Assistance Funding Application 2021 / 2022

Q36

I confirm:

that the information contained in the application form
and within the attachments are true and correct.

,

that this application has been submitted with the full
knowledge and support of the applicant.

,

a copy of the event COVIDSafe plan will be provided
before funding is received

,

a copy of current insurance in relation to the event
date, will be provided before funding is received

#8

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Tuesday, March 23, 2021 10:16:14 AM
Last Modified: Monday, March 29, 2021 8:32:30 PM
Time Spent: Over a day
IP Address: 110.142.89.55

Page 2: CONTACT DETAILS

Q1

Which period of Events Assistance are you applying for?

Period 1 - Events held between July 1 2021 - Dec 31 2021

Q2

Please enter your contact details below:

Name: Gerald Norton-Knight
Organisation: Sculptures in the Garden
ABN: 29123733271
Address: 'Rosby' 122 strikes Lane
Suburb: Eurunderee
State: NSW
Post Code: 2850
Email Address: 
Phone Number: 

Q3

Bank Details for cash component of grant

Account Name: Sculptures in the Garden
BSB: 
Account Number: 

Q4

Which of the below apply to your organisation?

Are you registered for GST? No
Is your organisation incorporated? Yes
Is your organisation not-for-profit? Yes

Events Assistance Funding Application 2021 / 2022

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

2020_Public Liability Sculptures In The Garden COC Liab..pdf (75.4KB)

Q6

Please upload high resolution images in relation to your event (Maximum file size 16MB)

AHM_3731_Gallery.jpg (2.6MB)

Q7

Please provide website details and social media handles

Website: <https://www.sculpturesinthegarden.com.au/>
Facebook Page: @sculpturesinthegarden (facebook)
Other: @sculpturesinthegarden (insta)

Page 3: EVENT INFORMATION

Q8

Name of event:

Sculptures in the Garden 2021

Q9

Date / Time 09/10/2021 10:00

What is the event start date?

Q10

Number of days event is held:

16

Q11

Event location:

'Rosby' 122 Strikes Lane, Eurunderee Mudgee

Q12

No

Is the event being held on Council land or venue?

Events Assistance Funding Application 2021 / 2022

Q13

Respondent skipped this question

Has a booking form been completed or a request to book been made?

Q14

Respondent skipped this question

Does the booking relate to Glen Willow?

Page 5

Q15

Respondent skipped this question

Please select all areas of the facility you wish to use in your booking?

Q16

Date

08/10/2011

What year was the event established?

Q17

Annual

How often is the event held?

Q18

Has your event previously received funding from Council?

Yes,

If yes, please list year(s) of funding and amount(s) received::

2015 - 2020 Events assistance funding

Q19

Yes

Do you wish to apply for multi-year funding?

Page 6

Q20

2021,

Please select the years you are applying for funding for -

2022,

2023

Q21

Event description:

Sculptures in the Garden is an annual two-week sculpture exhibition, taking place in Rosby Vineyard gardens in Mudgee and draws established and emerging sculptors from across NSW to display their work.

The inaugural Sculptures in the Garden event was held in October 2011 and attracted 130 sculptures and more than 1000 visitors over the weekend. The event now brings around 4000+ visitors to the region and showcases more than 250 artist's work.

Events Assistance Funding Application 2021 / 2022

Q22

Event aims and objectives:

The objective for this event has always been to showcase sculpture as an artform, curate the work of some of the most interesting sculptors currently working in NSW, and engage the local community in the appreciation of – and education about – these works.

The SIG Committee is made up of seven local volunteers whose aim is to celebrate the work of Australian artists, increase visitation to our beautiful region as well as raise money for local charity and art initiatives.

Q23

Desired outcomes of event:

Artistic Director Kay Norton-Knight's vision is to bring sculptures to the Mudgee region; to provide a venue for emerging artists to display and sell their work and network with other artists; and to develop public art for the benefit of the community and visitors to the Mudgee region.

Q24

Less than 500 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors	2,800
Overnight visitors	2,000

Q26

Ticket sales / Entries

What methods do you use to collect data on attendance and visitor numbers?

Q27

How do you plan to promote or market the event?

PR,
Posters,
Flyers,
Social media,
Print advertising ,
Street banners/flags,
Radio Advertising,
TV Advertising

Events Assistance Funding Application 2021 / 2022

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	2,500
Expected Sales Revenue (including entry/ticket sales):	250,000
Sponsorship:	5,000
Total Income:	255,000

Q29

Please provide details of your event expenditure:

Marketing:	15,000
Staff Costs:	20,000
Other 1:	Artist payments: 175,000
Other 2:	Operating Costs: 45,000

Q30

Total Surplus/Deficit:

\$ We anticipate to break even

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

Any surplus funds is then used to fund the major acquisition prize for the following years event.

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

The sustainability of the event is reliant on the commission gained from each year's sculpture sales. We also plan to attract better quality artists and artwork each year by offering more prize money.

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application(e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges ([click here](#)) for amounts.

Total: nil

Events Assistance Funding Application 2021 / 2022

Q34

Please provide details of CASH support requested AND dollar amounts: For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Marketing Materials	\$1000
Materials and supplies	\$500
Other	\$1000 : Professional consultants - PR, website & online entry forms
Total:	\$2,500

Page 9: AUTHORISATION OF APPLICANT

Q35

Authorisation of Applicant:

Name:	Gerald Norton-Knight
Position	Chairman
Date:	29/3/2021

Q36

I confirm:

that the information contained in the application form and within the attachments are true and correct.

,

that this application has been submitted with the full knowledge and support of the applicant.

,

a copy of the event COVIDSafe plan will be provided before funding is received

,

a copy of current insurance in relation to the event date, will be provided before funding is received

#9

COMPLETE

Collector: Web Link 1 (Web Link)
Started: Tuesday, March 30, 2021 6:30:33 AM
Last Modified: Tuesday, March 30, 2021 1:00:56 PM
Time Spent: 06:30:22
IP Address: 49.181.156.110

Page 2: CONTACT DETAILS

Q1

Which period of Events Assistance are you applying for?

Period 1 - Events held between July 1 2021 - Dec 31 2021

Q2

Please enter your contact details below:

Name: Hunter White
Organisation: Mudgee Race Club Inc
ABN: 20 480 052 313
Address: PO box 229
Suburb: Mudgee
State: NSW
Post Code: 2850
Email Address: 
Phone Number:

Q3

Bank Details for cash component of grant

Account Name: Mudgee Race Club Inc
BSB: 
Account Number:

Q4

Which of the below apply to your organisation?

Are you registered for GST? Yes
Is your organisation incorporated? No
Is your organisation not-for-profit? Yes

Events Assistance Funding Application 2021 / 2022

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

CoC Racing NSW 2020-21 Club Mudgee.pdf (126.8KB)

Q6

Please upload high resolution images in relation to your event (Maximum file size 16MB)

MRC Cup 2021.docx (305KB)

Q7

Please provide website details and social media handles

Website: <https://www.mudgeeraceclubinc.com/>

Facebook Page: <https://www.facebook.com/mudgeeraceclub/>

Page 3: EVENT INFORMATION

Q8

Name of event:

Mudgee Cup

Q9

Date / Time

03/12/2021 11:00

What is the event start date?

Q10

Number of days event is held:

1

Q11

Event location:

Mudgee Race Course

Q12

No

Is the event being held on Council land or venue?

Page 4

Q13

Respondent skipped this question

Has a booking form been completed or a request to book been made?

Q14

Respondent skipped this question

Does the booking relate to Glen Willow?

Page 5

Q15

Respondent skipped this question

Please select all areas of the facility you wish to use in your booking?

Q16

Date

01/01/1900

What year was the event established?

Q17

Annual

How often is the event held?

Q18

No,

Has your event previously received funding from Council?

If yes, please list year(s) of funding and amount(s) received::
2020

Q19

No

Do you wish to apply for multi-year funding?

Page 6

Q20

Respondent skipped this question

Please select the years you are applying for funding for -

Q21

Event description:

Premier Thoroughbred racing day for Mudgee Cup. This is a celebration day for Mudgee community as the year draws to an end

Events Assistance Funding Application 2021 / 2022

Q22

Event aims and objectives:

Promote thoroughbred racing in Mudgee and NSW
Showcase high quality country racehorses
a celebration of the year for Mudgee
build a community that sustains and values Mudgee and enjoyment of horse racing

Q23

Desired outcomes of event:

Mudgee Cup winner is acknowledged
successful social occasion for racegoers

Q24

More than 2,000 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors	1000
Overnight visitors	1000

Q26

What methods do you use to collect data on attendance and visitor numbers?

Ticket sales / Entries,
Gut-feel,
Other (please specify):
bar sales and catering sales

Q27

How do you plan to promote or market the event?

Social media,
Radio Advertising,
Other (please specify):
123tix website

Events Assistance Funding Application 2021 / 2022

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	2500
Expected Sales Revenue (including entry/ticket sales):	100000
Contribution from your Organisation/Club:	100000
Sponsorship:	22000
Stallholder Fees:	0
Other Grant funding received:	prizemoney subsidy TAB
Other 1:	80000 bar

Q29

Please provide details of your event expenditure:

Marketing:	15000
Venue Hire:	10000
Event Infrastructure:	10000
Waste Management:	2000
Traffic Control:	500
Staff Costs:	27000
Other 1:	160000 catering bar racing costs RNSW

Q30

Total Surplus/Deficit:

\$ 500

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

always budget to make a small surplus to cover overheads etc

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

support from the community

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Events Assistance Funding Application 2021 / 2022

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application(e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges (click here) for amounts.

Venue Hire Fee	10000
Traffic Management	1500
Waste Management	1500

Q34

Please provide details of CASH support requested AND dollar amounts:For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Marketing Materials	2500
---------------------	------

Page 9: AUTHORISATION OF APPLICANT

Q35

Authorisation of Applicant:

Name:	Hunter White
Position	Vice President
Date:	30/03/21

Q36

I confirm:

that the information contained in the application form and within the attachments are true and correct.

,

that this application has been submitted with the full knowledge and support of the applicant.

,

a copy of the event COVIDSafe plan will be provided before funding is received

,

a copy of current insurance in relation to the event date, will be provided before funding is received

#10

INCOMPLETE

Collector: Web Link 1 (Web Link)
Started: Sunday, March 28, 2021 8:22:51 PM
Last Modified: Wednesday, March 31, 2021 9:04:20 AM
Time Spent: Over a day
IP Address: 121.216.101.162

Page 2: CONTACT DETAILS



Q1

Which period of Events Assistance are you applying for?

Period 1 - Events held between July 1 2021 - Dec 31 2021

Q2

Please enter your contact details below:

Name: Alex Lithgow
Organisation: Gulgong Vintage & Classic Motorcycle Club
Address: P.O. Box 413
Suburb: Gulgong
State: NSW
Post Code: 2852
Email Address: 
Phone Number: 

Q3

Bank Details for cash component of grant

Account Name: Gulgong Vintage & Classic Motorcycle Club
BSB: 
Account Number: 

Q4

Which of the below apply to your organisation?

Are you registered for GST? No
Is your organisation incorporated? No
Is your organisation not-for-profit? Yes

Events Assistance Funding Application 2021 / 2022

Q5

Events MUST have insurance current at time of the event, to be eligible to receive funding. Please upload a copy of your current Certificate of Currency. If this will expire before your event date, an updated version will be required before funding is released.

Gulgong Vintage and Classic Motorcycle Club - COC_2020-2021.pdf (207.6KB)

Q6

Please upload high resolution images in relation to your event (Maximum file size 16MB)

Gulgong Swap Meet 2019_2.JPG (128.8KB)

Q7

Please provide website details and social media handles

Website:	gulgongmotorcycleclub.com
Facebook Page:	gulgong vintage and classic motorcycle club

Page 3: EVENT INFORMATION

Q8

Name of event:

Gulgong Swap Meet

Q9

Date / Time **13/11/2021 10:00**

What is the event start date?

Q10

Number of days event is held:

2

Q11

Event location:

Gulgong Show Ground

Q12

No

Is the event being held on Council land or venue?

Page 4

Q13

Respondent skipped this question

Has a booking form been completed or a request to book been made?

Q14

Respondent skipped this question

Does the booking relate to Glen Willow?

Page 5

Q15

Respondent skipped this question

Please select all areas of the facility you wish to use in your booking?

Q16

Date

08/11/2009

What year was the event established?

Q17

Annual

How often is the event held?

Q18

No

Has your event previously received funding from Council?

Q19

No

Do you wish to apply for multi-year funding?

Page 6

Q20

2021

Please select the years you are applying for funding for -

Q21

Event description:

Gulgong Swap Meet
Market Day & Trash n Treasure.

Events Assistance Funding Application 2021 / 2022

Q22

Event aims and objectives:

Our Club aims to provide a large, safe & organised venue for people to trade, swap or barter goods of any type, whilst specialising in Motorcycle, car, truck & tractor parts with the emphasis on Vintage or Antique. Also allowing all Bric a Brac, house hold goods and other second hand items.

In parallel with the Swap Meet our Club runs a Show N Shine for Motorcycles, Cars, Trucks, Tractors, Stationary Motors and other displays.

We hope to attract as many Sellers & Lookers as possible from out of state as well as from across NSW and locally to come an event that they would come back to next year.

Our Club plans to financially pay all our expenses and invest in the following years event as well as donating to Men's Health Charities and local "good causes".

Our Club does this by renting the whole of the Gulgong Showgrounds for 3 days with the objective providing the space for a well laid out market space for the Stall Holders (Sellers) and room for the Buyers (Lookers) to easily move around the site, which would allow us to comply with current COVID guidelines. This also provides us with the space to allow people to display items from a Vintage Motorcycle, trucks or tractors for the Show n Shine for which Trophies are awarded in different categories and gives the visitors a feel of being at a Country Fair.

To achieve this our Club Members plan and execute the running of the Gulgong Swap Meet.

Our Club members as Volunteers are organised in groups to provide Gate entry, ticketing, Stall layouts, general marshaling for people & vehicle movements, supervision of food stalls, site cleaning and many more duties.

This Swap Meet is timed to fit with a calendar of other events that happen across NSW and to attract the visitors required we keep the entry fees for both Lookers & Sellers as low as possible along with an extensive advertising campaign nationally & locally.

Our club covers the expenses of Showground hire, Public Liability Insurance, Advertising, Cleaning, Trophies and other miscellaneous expenses, it is to be noted that additional expenses will be incurred in relation to complying with Covid 19 guide line as required by the NSW Government at the time of the Swap Meet.

We set aside some finances for future Swap Meets and Donate to a Men's Health Charity & local community causes, which we haven't yet chosen for this years Swap Meet.

Q23

Desired outcomes of event:

Our Club aims at being able to provide an Event that is desirable for people say, "that was great, we'll come back next year".

From the Genuine "hard to get Parts buyers & sellers, the families who are just Looking to buy or sell some wares, the owners of Motorcycles, Cars, Trucks, Tractors, Machinery and other antique items that put them on display, to people who simply come for a Look.

Q24

Less than 500 residents

Local Community members or Volunteers participating in the event

Q25

Number of visitors to the region for this event?

Single day visitors	2000
Overnight visitors	500

Q26

Ticket sales / Entries

What methods do you use to collect data on attendance and visitor numbers?

Q27

Posters,

How do you plan to promote or market the event?

Flyers,

Social media,

Print advertising ,

Street banners/flags,

Radio Advertising,

TV Advertising

Page 7: PROJECT BUDGET AND FINANCIAL DETAILS

Q28

Please provide details of your event income:

Events Assistance Funding Requested:	2500
Expected Sales Revenue (including entry/ticket sales):	3500
Contribution from your Organisation/Club:	2500
Sponsorship:	nil
Stallholder Fees:	1800
Other Grant funding received:	Nil

Q29

Please provide details of your event expenditure:

Marketing:	300
Venue Hire:	1750
Waste Management:	nil
Traffic Control:	nil
Staff Costs:	800

Q30

Total Surplus/Deficit:

\$	1000
----	-------------

Events Assistance Funding Application 2021 / 2022

Q31

If positive or surplus budget, please provide further details/explanation what this surplus will be used for:

Men's health

Q32

How do you plan to ensure the event will be sustainable in the future and not reliant on Council funding?

increase entry fee

Page 8: FUNDING REQUESTED - MUST NOT EXCEED \$2,500

Q33

Please provide details of IN-KIND support requested AND value of support (dollar amounts): All events requesting 100% in-kind assistance receive 10 bonus points. Towards scoring of application(e.g. Council venue hire fee, preparation of Traffic Control Plan, Traffic Control Personnel, Waste Management). Refer to Council's Fees and Charges (click here) for amounts.

Venue Hire Fee	1750
Traffic Management	nil
Waste Management	nil
Other 1	nil
Total:	nil

Q34

Please provide details of CASH support requested AND dollar amounts:For any cash funding received, copies of invoices may be required as evidence along with an invoice.

Marketing Materials	Printing
Salaries	Cleaning
Prizes	Trophies

Page 9: AUTHORISATION OF APPLICANT

Q35

Respondent skipped this question

Authorisation of Applicant:

Q36

Respondent skipped this question

I confirm:

Summary of Events Assistance Applications

#REF!						
Organisation	Event Start Date	Description	Requested Amount Cash	Requested Amount In kind	Request for Multi-Year Funding	Total Score
Rotary Club of Mudgee - Gardens of Mudgee	16.10.2021	The annual event complements other garden based activities in spring in Mudgee. The two day event will see six gardens never opened to the public. With an expected attendance of 1,600 spectators made up of locals and visitors. \$2,000 of cash support is requested to contribute to the cost of advertising and event expenses. If Council wishes to support the event in 2021, 2022 & 2023 the recommended amount based on the scoring scale is \$1,000 for each year.	2,000.00	-	Yes	10
Mudgee Field Days	09.07.21	The annual 2 day agriculture event promotes innovation and sustainability in agriculture and rural lifestyle. With an expected attendance of over 12,000 people made up of locals and visitors. \$2,500 of cash support is requested to contribute to the cost of the event. If Council wishes to support the event in 2021, 2022 & 2023 the recommended amount based on the scoring scale is \$2,500 for each year. Council supported the event in 2019, with \$2,500. The event did not take place in 2020 due to COVID-19 and the restrictions in place around crowd numbers.	2,500.00	-	Yes	20
Cudgegong Camera Club	No date	The annual event hosted throughout the central west is an interclub event of the Western Districts Association of Camera Clubs, the aim of the weekend is to showcase the local area through workshops, presentations, excursion and social activity. With an expected participation of 250 photographers made up of locals and visiting photographers. \$2,000 of support is requested made up on in-kind (hire of the Mudgee Art Gallery cost \$250-\$600) and \$1400-\$1750 cash to contribute to event expenses.	1400-1750	250-600	No	8
Motorfest - Cudgegong Cruisers	13.11.21	The bi-annual event aims to promote the large collection of vintage vehicles owned in the Mudgee Region. With an expected attendance of 2,200 spectators made up of locals and visitors. \$1,500 of in-kind support is requested for venue hire of the Mudgee Showground (\$1134) and waste (15 x bins including delivery \$328). If Council wishes to support the event in 2020, & 2023 the recommended amount based on the scoring scale is \$1,500 for each year.	-	1,500.00	Yes	17
Mudgee Triathlon Club	22.08.21	The Mudgee Running Festival is an annual event promoting physical activity through its 4 race program. With an expected participation of approximately 1,500 runners made up of locals and visitors. \$2,500 of in-kind support is requested to contribute to the cost of traffic management expenses. If Council wishes to support the event in 2021, 2023 & 2023 the recommended amount based on the scoring scale is \$2,500 for each year. Council supported the event in 2019 with \$2,500. The event did not take place in 2020 due to COVID-19 and the restrictions in place around crowd numbers.	-	2,500.00	Yes	23
Sculptures in the Garden	09.10.21	The annual two day event is an art event that exhibits Australia sculpture. With an anticipated attendance of 5,000 made up of locals and visitors to the region. \$2,500 of cash assistance is requested to be used towards marketing the event. If Council wishes to support the event in 2021, 2022 & 2023 the recommended amount based on the scoring scale is \$2,500 for each year. Council supported the event in 2020, with \$2,500 in Events Assistance Funding.	2,500.00		Yes	19
Mudgee Race Club	03.12.21	The proposed event is the annual Mudgee Cup, with an expected attendance of 4,000 spectators made up of locals and visitors. \$2,500 of cash support is requested to contribute to the cost of advertising. It is recommended that if Council wishes to support the event in 2021 the recommended amount of funding based on the scoring scale is \$2,000 of cash assistance. Council supported the event in 2019, with \$2,000 in Events Assistance Funding.	2,500.00	-	No	18
Gulgong Vintage & Classic Motorcycle Club	13.11.21	The annual multi-day event the Gulgong Swap Meet has an expected attendance of 3,000 people made up of locals and visitors. \$2,500 of cash support is requested to contribute to the cost of venue hire and event expenses. If Council wishes to support the event in 2021 the recommended amount based on the scoring scale is \$2,000.	2,500.00		No	17



*Good
Government*

QUARTERLY BUDGET REVIEW STATEMENT MARCH 2021

ATTACHMENTS

19 MAY 2021

MID-WESTERN REGIONAL COUNCIL
CORPORATE: FINANCE

■ ■ ■ ■ ■ TOWARDS 2030



THIS DOCUMENT HAS BEEN PREPARED BY NEIL BUNGATE, MANAGER FINANCIAL PLANNING FOR MID-WESTERN REGIONAL COUNCIL.

ANY QUESTIONS IN RELATION TO THE CONTENT OF THIS DOCUMENT SHOULD BE DIRECTED TO:
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DATE OF PUBLICATION: 19 MAY 2021

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1. Proposed Budget Variations

1.1 2020/2021

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Plant Purchases - Plant Purchases of \$3.72m delayed due to extensive lead times on delivery. New vehicle addition \$45k offset by deferral of two vehicles \$90k to21/22 due to vacancies	-3,765,000	-	0	-	0	PLANT REPLACEMENT RESERVE	3,765,000	0
General	Road Extension - Between Putta Bucca & Glen Willow - Reallocate 540k to 2021/22 as it is a multi-year project starting in May 2021.	-540,500	GRT - ROADS & BRIDGES OTHER CAPITAL	540,500	-	0	-	0	0
General	Seal Extension - Barigan Rd - Project complete with savings	-446,783	-	0	-	0	-	0	446,783
General	Solar Farm Initiative - Roll 400k for the solar array into 2021/22.	-400,000	-	0	-	0	CAPITAL PROGRAM RESERVE	400,000	0
General	Plant Operations Fund - Adjustments to plant hire income, reduction in expenses for fuel, materials and labour	-366,750	PLANT FUND REVENUE	(65,000)	INTERNAL HIRE	431,750	-	0	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Kandos Stormwater Upgrade - Project delayed due to Design and Consultation issues.	-350,000	GRT - OTHER GRANT INCOME - CAPITAL	350,000	-	0	-	0	0
General	Dixons Long Point Crossing - Reallocate budge to 2021/22 as it is a multi-year project.	-342,543	GRT - ROADS & BRIDGES OTHER CAPITAL	342,543	-	0	-	0	0
General	Urban Rehab - Church / Meares St Roundabout - Reallocate budgeted expense and funding into 2021/22 due to delays in project.	-335,000	GRT - ROADS TO RECOVERY	335,000	-	0	-	0	0
General	Ow - Resurfacing Improvements - Project completed	-260,000	UCF - RMS STATE ROADS - ORDERED WORKS	29,500	-	0	-	0	230,500
General	Ow - Hw18 Castlereagh Hwy Asphalt - Completed in 19/20	-255,652	UCF - RMS STATE ROADS - ORDERED WORKS	276,104	-	0	-	0	(20,452)
General	Mudgee Showgrounds - Redevelopment - Reallocate 250k of budget from 2020/21 to 2021/22 as the project is a multi-year project	-250,000	GRT - RECREATION - CAPITAL	250,000	-	0	-	0	0
General	Hill End Road Safety Improvements - Reallocate budget to 2021/22 as it is a multi-year project.	-218,529	RMS CONTRIBUTIONS - CAPITAL	218,529	-	0	-	0	0
General	Billy Dunn Amenities - Reallocate 200k of the 2020/21 budget to 2021/22 as it is a multi-year budget.	-200,000	GRT - RECREATION - CAPITAL	93,089	-	0	-	0	106,911

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Goulburn River Bridge Ulan Road - Reallocate to 2021/22 as it is a multi-year project. The project will commence onsite in June 2021 and estimated completion in October.	-200,000	GRT - ROADS & BRIDGES OTHER CAPITAL	200,000	-	0	-	0	0
General	Plans Of Management - Crown Lands - Plans on management to continue in 21/22	-190,000	-	0	-	0	-	0	190,000
General	Property - Mudgee Airport Subdivision - Land sales are not to go ahead at this time.	-180,000	-	0	-	0	LAND DEVELOPMENT RESERVE	180,000	0
General	Mudgee Floodplain Management Plan Stage 2 - Move budget into the 2021/22 financial year due to delays in Stage 2 of the Floodplain management plan.	-150,000	GRT - ENVIRONMENT GRANTS	100,001	-	0	-	0	49,999
General	Street Light Maintenance - Reduction in street lighting expense	-150,000	-	0	-	0	-	0	150,000
General	Customer Services - Salaries savings due to vacancies. Future year budget adjustment to customer service team positions	-140,500	-	0	-	0	-	0	140,500
General	Rural Sealed Roads Shoulder Maintenance - Reallocate savings to maintenance grading where additional budget required.	-130,961	-	0	-	0	-	0	130,961
General	Rural Sealed Regional Road Shoulder Maintenance - Reallocate savings to general maintenance where budget is required.	-127,247	RMS CONTRIBUTIONS - BLOCK	127,247	-	0	-	0	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Local Unsealed Rds Natural Disaster - Reduce flood natural disaster budget as works completed mostly in prior year	-127,100	RMS CONTRIBUTIONS - OPERATING	127,100	-	0	-	0	0
General	Ow - Heavy Patching - Project complete with savings	-120,141	UCF - RMS STATE ROADS - ORDERED WORKS	(23,951)	-	0	-	0	144,092
General	Recovery Upper Turon Road Fire - Finalising bushfire recovery project costs and claim	-118,193	GRT - BUSHFIRE & EMERGENCY SERVICES - CAPITAL	300,000	GRT - BUSHFIRE & EMERGENCY SERVICES -OP	(152,901)	-	0	(28,906)
General	Mid-Western Operations Administration - Salary savings due to vacancies	-118,100	-	0	-	0	-	0	118,100
General	Seal Extension - Coxs Creek Rd - Savings allocated to Queens Pinch in 21/22	-118,000	GRT - ROADS & BRIDGES OTHER CAPITAL	88,500	-	0	SEAL EXTENSION PROGRAM RESERVE	29,500	0
General	Ow - Mr633 Two Mile Flat Widening 308.21.03 - Project completed with savings	-117,668	UCF - RMS STATE ROADS - ORDERED WORKS	(26,014)	-	0	-	0	143,682
General	Strategic Planning - Salary savings due to vacancies, increased rezoning fee revenue	-103,600	UCF - REZONING APPLICATIONS	(17,200)	-	0	-	0	120,800
General	Mudgee Valley Park Upgrade - Reallocate 100k of the 2020/21 budget to 2021/22 as it is a multi-year budget.	-100,000	-	0	-	0	-	0	100,000

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Building Regulatory Services - Increase in volume of building work required and salaries savings due to vacancies	-96,000	UCF - CONSTRUCTION CERTIFICATES	(40,000)	UCF - BUILDING CERTIFICATE MINOR REGULATORY	(25,000)	-	0	161,000
General	Putta Bucca Wetlands Toilet - Reallocate current budget to 2021/22 due to significant site investigation required for the project due to the location and flood zoning of the proposed public convenience location. There was delays in the consultant engaged for the geotechnical and septic investigation which is required before lodging the Development Application.	-95,000	-	0	-	0	S94 \$79,635 CAPITAL PROGRAM \$15,365	95,000	0
General	Corporate Governance - Savings in salaries and stationery, offset by increased to legal expenses	-91,000	OTR - OTHER REVENUE	(17,100)	-	0	-	0	108,100
General	Cbd Pedestrian Crossing Lighting Upgrade - Quotation received for 132k for the lighting upgrade and therefore savings of 88k from the original estimation.	-88,000	-	0	-	0	CAPITAL PROGRAM RESERVE	88,000	0
General	Health Precinct Masterplan - Reallocate the current year budget into 2021/22.	-74,695	CONTRIBUTIONS	34,695	-	0	-	0	40,000
General	Urban Reseals - Belmore St Seg 10-20,50-90 - Part of the reseal works postponed to 2021/22 to accommodate water main replacement.	-74,329	-	0	-	0	-	0	74,329

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Playground Shading Program - Reallocate 65k from the current year budget to the 2021/22 financial year for the additional shading at the Gulgong Adventure Playground which due to design issues had to be delayed to reach the desired result.	-65,000	-	0	-	0	VPA \$58,500, CAPITAL PROGRAM \$6,500	65,000	0
General	Stormwater Asset Survey - Recruitment of asset team has delayed the project.	-64,000	-	0	-	0	ASSET REPLACEMENT RESERVE	64,000	0
General	Bushfire Recovery And Resilience Community Grants - Reallocate budget into the 2021/22 budget as bushfire community grant applications will not be reviewed until August 2021	-62,500	GRT - BUSHFIRE & EMERGENCY SERVICES -OP	62,500	-	0	-	0	0
General	Old Police Station Capital - Cancel project and return remaining budget as the Family day care roof was thought to require significant structural changes to rectify on-going leaking issues. After further investigation, maintenance works and water testing it has been found that the minor changes undertaken have rectified the issues and the capital works is no longer required.	-62,200	-	0	-	0	ASSET REPLACEMENT RESERVE	62,200	0
General	Property - Ex Saleyards Stage I - Transfer land sales budget to separate project code	-60,000	DOA - PROCEEDS FROM SALE - PROPERTY	1,800,000	-	0	LAND DEVELOPMENT RESERVE	(1,740,000)	0

CORPORATE: FINANCE |

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Ow - Sh18 Fisher St Rehab Wo 308.21.06 - Project completed with savings	-57,000	UCF - RMS STATE ROADS - ORDERED WORKS	34,854	-	0	-	0	22,146
General	Airport Runway * - Estimated cost is 960k and thus there is expected savings of 52k.	-52,000	-	0	-	0	-	0	52,000
General	Asset Management Admin - Salary savings due to vacancies	-74,000	-	0	-	0	-	0	74,000
General	Clandulla Mountain Bike Trail Development * - Reallocate 50k from the current year budget to 2021/22 due to challenges around receiving a permit from the NSW State Forest to commence work. Further work is also required after permit is received to set up an agreement with a registered bike club to assist with maintenance and events management.	-50,000	GRT - RECREATION - CAPITAL	50,000	-	0	-	0	0
General	Rylstone Caravan Park - Capital - Reallocate 50k of the 2020/21 budget to 2021/22 as it is a multi-year budget.	-50,000	GRT - RECREATION - CAPITAL	50,000	-	0	-	0	0
General	Ulan Wollar Road - Stage 3A - Reallocate savings to other priorities.	-49,928	-	0	-	0	-	0	49,928

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Art Gallery Operations - Funding received from Museum & Galleries of NSW for the "Making Conversations" cultural Project 2021/22. 2020/21 Savings in operational costs, and fair value write-offs (\$42,935 non-cash)	-45,865	UCF - ENTRY FEES - GENERAL	50,000	-	0	-	0	38,800
General	Records Operations - Salary savings due to vacancies	-44,000	-	0	-	0	-	0	44,000
General	Town Hall - Surveillance Camera Upgrade - Works complete and total project cost came significantly under the original estimated budget.	-35,000	-	0	-	0	ASSET REPLACEMENT RESERVE	35,000	0
General	Community Centre - Court Street Capital Works - Reallocate 30k of budget from 2020/21 to 2021/22 due to delays in the property transfer to council	-30,000	-	0	-	0	-	0	30,000
General	Widen And Seal Mt Vincent Road Hill - Reallocate savings to other priorities.	-29,911	-	0	-	0	-	0	29,911
General	Development Control - Additional development fee revenue and salary savings	-29,600	UCF - DEVELOPMENT APPLICATIONS	(96,000)	UCF - OTHER DEVELOPMENT FEES	(2,500)	-	0	128,100
General	Public Health Registrations & Inspections - Increase budgeted income as there is an increased volume of residential work. Decrease salaries and wages as the Senior Environmental Health Officer position has not yet been filled.	-27,330	UCF - PLUMBING, DRAINAGE & SEPTIC	(20,000)	-	0	-	0	47,330

CORPORATE: FINANCE |

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Ow - Mr54 Tara Loop Road Shoulder Widening 308.20.17 - Project completed with savings	-26,237	UCF - RMS STATE ROADS - ORDERED WORKS	(55,648)	-	0	-	0	81,885
General	Weeds Inspection - Decrease in expenses due to a reduction in plant hire costs and due to the annual weeds training/ conference being cancelled due to Covid-19.	-25,000	-	0	-	0	-	0	25,000
General	GPS Cemetery Sites - Project savings forecast	-25,000	-	0	-	0	CAPITAL PROGRAM RESERVE	25,000	0
General	Mudgee Flood Study & Floodplain Management Plan - Estimated cost is 36k and thus there is expected savings of 24k.	-24,234	-	0	-	0	-	0	24,234
General	Reseal - Lesters Ln Seg 10-40 - Reallocate savings to other priorities	-23,681	-	0	-	0	-	0	23,681
General	Audit & Risk Committee - Recognise savings for the remainder of the year.	-23,000	-	0	-	0	-	0	23,000
General	Urban Reseals - Court St Seg 10,60-100 - Reallocate savings to other priorities.	-20,748	-	0	-	0	-	0	20,748
General	Earth Channel Enlargement Works - Transfer budget to drainage capital budget where it is needed	-20,000	-	0	-	0	ASSET REPLACEMENT RESERVE	20,000	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Grimshaw Lane/Welcome Reef Lane - Reallocate savings to other priorities	-20,000	-	0	-	0	-	0	20,000
General	Carparking - Maintenance - Budget currently not required. Reallocate to Urban Rds Local maintenance where it is needed.	-18,137	-	0	-	0	-	0	18,137
General	Community Services Administration - Savings in salaries	-18,000	-	0	-	0	-	0	18,000
General	Ow - Hw18 Culvert Works 308.20.19 - Project completed with savings	-17,199	UCF - RMS STATE ROADS - ORDERED WORKS	(18,191)	-	0	-	0	35,390
General	Urban Reseals - Mayne St Seg 20,60,70 - Part of the reseal works postponed to 2021/22 to accommodate water main replacement.	-15,131	-	0	-	0	-	0	15,131
General	Urban Reseals - Queen St Seg 10-80 - Reallocate savings to other priorities.	-13,442	-	0	-	0	-	0	13,442
General	Airport Helicopter Landing Pad - To recognise savings for the completed project.	-10,053	-	0	-	0	CAPITAL PROGRAM RESERVE	10,053	0

CORPORATE: FINANCE |

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Revenue Collection - Due to Covid directions, debt recovery did not commence until Dec 2020 and therefore there is underspending of approx 30k by the end of the financial year. The 5 properties set down for the Sale of Land for Unpaid Rates auction on 30/4/2021 were all withdrawn from the sale due to acceptance of suitable payment arrangements or payment in full. Consequently, the costs incurred to progress these properties to sale being \$20,000 (agents fees, solicitors costs) cannot be recovered as the properties were not sold (s718 LGA).	-10,000	OTR - RECOVERY OF LEGAL COSTS	30,000	-	0	-	0	(20,000)
General	Pool Operations - Mudgee - Additional funding required for consultant to undertake pool condition report, minor alterations to the water park, additional cleaning required due to Covid 19 and to assist with other minor off season tasks. Less \$30k savings electricity.	-10,000	-	0	-	0	-	0	10,000
General	Gravel Pit Remediation - Reallocate savings to other priorities.	-7,948	-	0	-	0	-	0	7,948

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Caravan Park - Cudgegong Waters - Urgent removal of contaminated waste required was required and took longer than originally estimated. Depreciation \$7,631 (non-cash)	-5,631	-	0	-	0	-	0	(2,000)
General	Streetscape - Cbd Infrastructure - To recognise saving in the Streetscape CBD Infrastructure program.	-4,768	-	0	-	0	ASSET REPLACEMENT RESERVE	4,768	0
General	Cudgegong Road Guardrail - Reallocate savings to other priorities.	-3,901	-	0	-	0	-	0	3,901
General	Regional Road Bridge Capital - Budget to be reallocated to bridge maintenance	-2,900	RMS CONTRIBUTIONS - BLOCK	2,900	-	0	-	0	0
General	Mudgee Hospital Sculpture - To remove the 2.5k contribution as this was actually paid directly to the hospital.	-2,500	CONTRIBUTIONS	2,500	-	0	-	0	0
General	Ow - Goree Intersection Asphalt Works - Revised project scope	-2,167	UCF - RMS STATE ROADS - ORDERED WORKS	2,167	-	0	-	0	0
General	Rylstone Depot Sealing - Reallocate savings to other priorities.	-2,069	-	0	-	0	-	0	2,069
General	Corporate - Tourism Office - Electricity expense reduction	-2,000	-	0	-	0	-	0	2,000
General	Reseal - Lower Piambong Rd Seg 80 - Reallocate savings to other priorities,	-1,821	-	0	-	0	-	0	1,821

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Ulan Wollar Road - Moolarben Intersection - Reallocate savings to other priorities.	-1,512	-	0	-	0	-	0	1,512
General	Rural Fire Service - General Operations - Bushfire Shed no 2 at Hargraves RFS which is now under MWRC control \$900,712 (non-cash)	0	NON-CASH CONTRIBUTIONS - CAPITAL	(900,712)	-	0	-	0	0
General	Urban Reseals - Bayly St Seg 10-60 - To budget for Roads to Recovery grant funding	0	GRT - ROADS TO RECOVERY	(40,569)	-	0	-	0	40,569
General	Urban Reseals - Bellevue Rd Seg 30-60 - Project lodged to be funded through Roads to Recovery program.	0	GRT - ROADS TO RECOVERY	(33,114)	-	0	-	0	33,114
General	Urban Reseals - Norman Rd Seg 10-30 - Project lodged to be funded through Roads to Recovery program.	0	GRT - ROADS TO RECOVERY	(30,264)	-	0	-	0	30,264
General	Recovery Kerry Ridge Fire - Finalising bushfire recovery costs and claim	0	GRT - BUSHFIRE & EMERGENCY SERVICES - CAPITAL	61,200	GRT - BUSHFIRE & EMERGENCY SERVICES -OP	(96,145)	-	0	34,945
General	Rural Rehab - Barneys Reef Rd - Additional RTR funding to be used for this project due to savings on other RTR projects.	0	GRT - ROADS TO RECOVERY	(120,644)	-	0	-	0	120,644

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Ow - Guntawang Intersection Asphalt Works - Revised project scope	0	UCF - RMS STATE ROADS - ORDERED WORKS	(17,869)	-	0	-	0	17,869
General	Property - Mellon St - Recognise rental income under new agreement	0	OTR - COUNCIL PROPERTY RENTAL	(9,280)	-	0	-	0	9,280
General	General Purpose Revenue - Reduction in term deposit revenue due to low interest rates \$120k, Mining revenue lost on objection \$200k, offset by other rates higher than budget due to development	0	GENERAL REVENUE	122,259	INTEREST REVENUE	135,000	-	0	(257,259)
Water	S64 Water Contributions - Revised contributions and interest revenue	0	INT - INTEREST ON S64 CONTRIBUTIONS	22,000	S64 WATER	(326,336)	S64	304,336	0
General	Reseal - Henry Lawson Dr Seg 80-90,120 - Adjust budget to actuals	0	GRT - ROADS TO RECOVERY	3,256	-	0	-	0	(3,256)
General	Reseal - Henry Lawson Dr Seg 130-160 - 0	0	GRT - ROADS TO RECOVERY	19,882	-	0	-	0	(19,882)
General	Carparking - Administration - Adjust contribution to match actual.	0	ROADWORKS MAINTENANCE	5,162	-	0	ASSET REPLACEMENT RESERVE	(5,162)	0
General	S94 General Fund Contributions - Revised contributions and interest revenue	0	CONTRIBUTION REVENUE	(244,436)	INT - INTEREST ON CONTRIBUTIONS	49,000	VPA -\$182,669, S94 \$378,105	195,436	0

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
Sewer	S64 Sewer Contributions - Revised contributions and interest revenue	0	INT - INTEREST ON S64 CONTRIBUTIONS	15,000	S64 SEWER	(90,875)	S64	75,875	0
General	Staff Recruitment & Retention - Reallocate staff recruitment costs budget to advertising budget.	0	-	0	-	0	-	0	0
General	Urban Reseals - Cox St Seg 15-20 - Project lodged to be funded through Roads to Recovery program.	112	GRT - ROADS TO RECOVERY	(19,530)	-	0	-	0	19,418
General	Corporate - Key & Lock Maintenance - High number of stock keys required for availability to new staff.	500	-	0	-	0	-	0	(500)
General	Urban Reseals - Wyaldra St Seg 10 - Budget over spend. Additional costs recognised after project completion.	886	-	0	-	0	-	0	(886)
General	Reseal - Queens Pinch Rd Seg 70,110-120 - Budget over spend. Additional costs recognised after project completion.	952	-	0	-	0	-	0	(952)
General	Corporate - Ex Police Building - Replacement oven and unexpected maintenance	1,200	-	0	-	0	-	0	(1,200)
General	Urban Rehab - Short St Rylstone Kerb & Gutter - Project lodged with Roads to Recovery to be funded.	1,403	GRT - ROADS TO RECOVERY	(61,972)	-	0	-	0	60,569

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Reseal - Craigmoor Rd Seg 20 - Budget over spend. Additional costs recognised after project completion.	1,408	GRT - ROADS TO RECOVERY	(1,408)	-	0	-	0	0
General	Aged Care Units - Mudgee Street Rylstone - Depreciation adjustment (non-cash)	1,580	-	0	-	0	-	0	0
General	Guttering Bylong Valley Way Kandos - Budget over spend. Additional costs recognised after project completion.	1,632	-	0	-	0	-	0	(1,632)
General	Corporate - Douro St Office - Budget required for the unexpected maintenance work required due to location of building and additional gutter cleans needed as preventative maintenance.	2,000	-	0	-	0	-	0	(2,000)
General	Passive Parks - Building Maintenance - Increase in budget as the existing budget has been exhausted.	2,000	-	0	-	0	-	0	(2,000)
General	Property - Burrundulla Land Development - For additional maintenance works required including tree removal.	2,000	-	0	-	0	-	0	(2,000)
General	Caravan Park - Rylstone - Additional maintenance works and services required as a result of Council temporarily managing the park to ensure facility meets operational requirements and current contractors' allocation exhausted. Depreciation - \$3,423 (non-cash)	2,577	-	0	-	0	-	0	(6,000)

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Aged Care Units - Louee Street Rylstone - Additional lawn services required due to long growing season. Depreciation \$1,855 (non-cash)	2,855	-	0	-	0	-	0	(1,000)
General	Caravan Park - Riverside - Urgent structural works were undertaken on amenities buildings after site suffered significant damage during a storm. Additional budget will also be used to engage consultants to undertake detailed tree inspection to assist Council in managing risk in relation to the trees throughout the park.	3,000	-	0	-	0	-	0	(3,000)
General	Aged Care Units - Cooyal/Anderson St Gulgong - Depreciation adjustment (non-cash)	3,065	-	0	-	0	-	0	0
General	Footways - Maintenance - Increase budget due to overspend and the carrying out of maintenance works required for the remainder of the year.	3,868	-	0	-	0	-	0	(3,868)
General	Public Halls - Mudgee Town Hall - Urgent unexpected maintenance works required due to PC board in air-conditioning requiring replacement and urgent works to lift phone required to meet safety requirements.	4,000	-	0	-	0	-	0	(4,000)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Lg Housing - Walter Street Units - Depreciation adjustment (non-cash)	4,921	-	0	-	0	-	0	0
General	Shade Sail Replacements - Budget required for shade to be replaced at Robertson Park.	5,340	-	0	-	0	-	0	(5,340)
General	Corporate - Administration Centre Rylstone - Installation of new security system being commissioned means on-going service costs	6,000	-	0	-	0	-	0	(6,000)
General	Ow - Galambine Shoulder Widening - Project completion	6,604	UCF - RMS STATE ROADS - ORDERED WORKS	61,250	-	0	-	0	(67,854)
General	Ow - Sh18 Railway Crossing Asphalt Work Birriwa - Revised project scope	7,000	UCF - RMS STATE ROADS - ORDERED WORKS	(19,270)	-	0	-	0	12,270
General	Corporate - Administration Centre Gulgong - Urgent maintenance works required as a result from roof leaks. Urgent building works and additional cleaning services are required due to mouse plague impacting the site significantly.	7,000	-	0	-	0	-	0	(7,000)

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Council Works Depots - Buildings - Unplanned urgent maintenance required on Mudgee wash bay pump and on-going maintenance issues with security system causing higher expenditure. Depreciation \$3,247 (non- cash)	7,247	-	0	-	0	-	0	(4,000)
General	Community Centres - Hargraves Court - Depreciation adjustment (non-cash)	7,492	-	0	-	0	-	0	0
General	Passive Parks - Administration - Budget for the change in depreciation. (non- cash)	8,093	-	0	-	0	-	0	0
General	MWRC Ops Admin - 48 Depot Rd - Cleaning and maintenance costs	9,000	-	0	-	0	-	0	(9,000)
General	Airport - Operations & Maintenance - Fair value write-offs and changes in depreciation estimates. (non-cash)	9,438	-	0	-	0	-	0	0
General	Mudgee Stores/Workshop Security Upgrade - Urgent upgrade to existing security system as the motherboard of existing system has become corrupt and the alarm system required an urgent upgrade to enable building to be secured.	10,000	-	0	-	0	-	0	(10,000)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Heavy Patching - Mudgee St Rylstone - Project lodged with Roads to Recovery to be funded. Budget overspend due to additional works carried out following review of scope.	12,275	GRT - ROADS TO RECOVERY	(62,275)	-	0	-	0	50,000
General	Pool Operations - Gulgong - Fair Value write-offs. (non-cash)	12,902	-	0	-	0	-	0	0
General	Cemetery Mtce - Administration - Reduction in fee revenue, increased plaque costs and fair value write-offs (non-cash) \$3,202 depreciation \$119 (non-cash)	13,321	UCF - CEMETERY FEES	25,000	-	0	-	0	(35,000)
General	Cemetery Mtce - MWRC Operations - Increase budget due to a number of trees needing to be removed from the Gulgong Cemetery due to safety concerns and minor curbing work for ashes trees. Minor works are required for the Gulgong fence maintenance.	15,000	-	0	-	0	-	0	(15,000)
General	Drainage Capital Improvements - Transfer budget from Earth Channel enlargement	20,000	-	0	-	0	ASSET REPLACEMENT RESERVE	(20,000)	0
General	Rural Unsealed Roads Minor Maintenance - Increase budget due to overspend and the carrying out of maintenance works required for the remainder of the year.	21,344	-	0	-	0	-	0	(21,344)
General	Active Parks - Administration - Depreciation adjustment (non-cash)	22,476	-	0	-	0	-	0	0

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Town Approaches Maintenance - Additional budget for wages due to the increased frequency required to maintain town approaches due to the length of the growing season and also the increase in the areas maintained.	23,000	-	0	-	0	-	0	(23,000)
General	Footways - Administration - Depreciation adjustment (non-cash)	25,136	-	0	-	0	-	0	0
General	Drainage Reserve Maintenance - Additional 30k budget required for drainage reserve wages due to the length of the growing season.	30,000	-	0	-	0	-	0	(30,000)
General	Local Sealed Bridge Maintenance - Depreciation adjustment (non-cash)	41,109	-	0	-	0	-	0	0
General	Caravan Park - Mudgee Valley Park - The occupancy rates continue to remain above trends and thus an increase in rental income is expected as well as an increase in wages, commissions, waste and water usage expenses.	52,100	OTR - COUNCIL PROPERTY RENTAL	(180,000)	-	0	-	0	127,900
General	Regional Rural Sealed Bridge Maintenance - Increase budget due to overspend and the carrying out of maintenance works required for the remainder of the year. Depreciation \$30,738 (non-cash)	55,072	RMS CONTRIBUTIONS - BLOCK	(2,900)	-	0	-	0	(21,434)
General	Ow - Reseals - Additional scope of work from RMS	60,000	UCF - RMS STATE ROADS - ORDERED WORKS	(175,213)	-	0	-	0	115,213

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Saleyards Lane Development Sales - Transfer land sales budget to separate project code	60,000	DOA - PROCEEDS FROM SALE - REAL ESTATE	(1,800,000)	-	0	LAND DEVELOPMENT RESERVE	1,740,000	0
General	Urban Roads Maintenance - Sealed - Increase budget due to overspend and the carrying out of maintenance works required for the remainder of the year.	81,259	-	0	-	0	-	0	(81,259)
General	Council Donations & Contributions - \$60k Kandos Charity Shop and expense \$26,998 Council contribution towards the golf club fence in the prior year.	86,998	-	0	-	0	-	0	(86,998)
General	Rural Sealed Roads Reseals - Replace seal short life asset. (non-cash)	91,349	-	0	-	0	-	0	0
General	Drainage Administration - Depreciation adjustments \$70,774 (non-cash) and drainage admin costs	96,474	-	0	-	0	-	0	(25,700)
General	Property - Income - \$87k (non-cash) budget for the book value of the property sold. To budget for legal matters which are unexpectedly near completion including 3k for access easement at Walter St Gulgong, 3.4k for Old Systems Title to Torrens Title of Rylstone Weir and license agreements for the Mudgee Tennis Club (2k) and Rylstone Caravan Park (2k). Budget 4k to cover for the Bylong RFS survey.	102,183	-	0	-	0	-	0	(14,400)
General	Urban Reseals - - Replace short life asset. (non-cash)	116,417	-	0	-	0	-	0	0

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Rural Sealed Road Rehab & Widening -- Replace base, seal long life and seal short life assets. (non-cash)	132,009	-	0	-	0	-	0	0
General	Information Technology Operations - Fair value write-off and depreciation \$162,076 (non-cash)	162,076	-	0	-	0	-	0	0
General	Rural Sealed Regional Road Maintenance - Increase budget due to overspend and the carrying out of maintenance works required for the remainder of the year.	193,060	RMS CONTRIBUTIONS - BLOCK	(127,247)	-	0	-	0	(65,813)
General	Ow - Hw18 Fisher St Intersection Wo308.21.15 - Project budget for intersection	250,746	UCF - RMS STATE ROADS - ORDERED WORKS	(288,358)	-	0	-	0	37,612
General	Ow - Ilford Sofala Intersection Asphalt Works - Revised project scope	370,000	UCF - RMS STATE ROADS - ORDERED WORKS	(448,095)	-	0	-	0	78,095
General	Rural Unsealed Roads Grading Program - Increase budget to \$2.2m due to overspend and the carrying out of maintenance works required for the remainder of the year.	492,518	-	0	-	0	-	0	(492,518)
General	Ow - Mr633 Seg 170 Shoulder Widening Wo308.21.18 - New RMS project	750,000	UCF - RMS STATE ROADS - ORDERED WORKS	(840,008)	-	0	-	0	90,008

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Rural Unsealed Roads Administration - To budget for the proceeds on the road sale of Slate Gully Road for 220k and to recognise the disposal of asset of 800k (non-cash)	800,000	DOA - PROCEEDS FROM SALE - PROPERTY	(220,000)	-	0	PUBLIC ROAD CLOSURE COMPENSATION RESERVE	220,000	0
Saleyards	Saleyards Bull Pen Shade - To recognise savings for the completed project.	-4,250	-	0	-	0	LIVESTOCK EXCHANGE RESERVE	4,250	0
Saleyards	Saleyards Administration - Depreciation adjustment (non-cash)	4,764	-	0	-	0	-	0	0
Sewer	Sewer Mains - Capital - \$362k transferred to projects, remainder returned to Sewer Reserves	-590,785	-	0	-	0	SEWER RESERVE	590,750	35
Sewer	Sewer Management & Administration - Increase to sewer availability charge \$150k, and reduction in admin expenses. Depreciation \$43,475 (non-cash)	-155,825	SEWER REVENUE	(65,100)	SEWER INTEREST REVENUE	(11,000)	-	0	275,100
Sewer	Sewer Treatment Works - Gulgong Stp Spillway - Due to wet weather works must be delayed until water level lowers	-30,000	-	0	-	0	SEWER RESERVE	30,000	0
Sewer	Sewer New Connections - Additional new sewer connection requests	10,000	-	0	-	0	-	0	(10,000)
Sewer	Sewer T'Ment Wks Ops & Maint Gulgong - Electricity expense increase	10,000	-	0	-	0	-	0	(10,000)

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
Sewer	Sewer Main Replacement - Short St/Market St Mudgee - Realignment of sewer main	12,000	-	0	-	0	SEWER RESERVE	(12,000)	0
Sewer	Sewer Main Collapse- Lawson Park West Mudgee - Sewer main collapse requires replacement	150,000	-	0	-	0	SEWER RESERVE	(150,000)	0
Sewer	Sewer Mains Relining - Sewer relining contract to commence. Additional budget from Sewer Main budget only	200,000	-	0	-	0	SEWER RESERVE	(200,000)	0
Waste	Recycling Plant Upgrades - Allocate to 2021/22 financial year due to delays in the slab design.	-193,333	-	0	-	0	WASTE RESERVE	193,333	0
Waste	Waste - General Operations - Increase Tipping fee revenue and annual charges, reduced plant hire. Fair value asset write down \$80,721 and depreciation -\$1,494 (non-cash)	-117,410	WASTE FUND REVENUE	(331,017)	WASTE FUND INTEREST	12,000	-	0	515,654
Waste	Domestic Waste Management - Revised annual charges and pension rebate	0	RAT - DOMESTIC WASTE CHARGES	(6,234)	GRANT PENSIONER RATE	(15,262)	-	0	21,496
Waste	WTS Operations - Increase to plant hire expense	15,000	-	0	-	0	-	0	(15,000)
Waste	Mudgee Recycling Operations - Increase to plant hire expense	75,000	-	0	-	0	-	0	(75,000)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
Waste	Organics Collection System Program - Due to the rainfall the amount of FOGO collected at MWRC has increased. Last financial year we collected 1700 tonnes. This year to the end of Feb 21 we have collected 1900 tonnes with a projection of approx. 3000 tonnes resulting in increased processing costs. This contract is a schedule of rates contract. Should the 3 Council group reach a combined total of 10,000 tonnes through the processing plant we will get an approximate 50% rebate due to going into the next band in the contract for processing. This is a possibility based on current figures. The current processing rate is \$101.16 per tonne.	140,000	-	0	-	0	-	0	(140,000)
Water	Water Augmentation - Mudgee Headworks - Tender advertisement delayed due to prioritising Mudgee STP emergency works. Physical works will not be able to be achieved in June, Defer to 2021/22.	-320,615	-	0	-	0	\$64	320,615	0
Water	Water Mains - Mayne Street - Reallocate to 2022 due to additional projects of Church St round about and Short st/Market St taking priority over original construction schedule.	-270,000	-	0	-	0	WATER RESERVE	270,000	0

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Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
Water	Water Mains - Nandoura Street - Recognise savings.	-70,000	-	0	-	0	WATER RESERVE	70,000	0
Water	Water Management & Administration - Reduction in revenue from residential water consumption \$600k, offset partially by increased raw water, bulk water and connection fee income	-89,000	WATER FUND REVENUE	405,200	WATER FUND INTEREST	56,000	-	0	(372,200)
Water	Water Mains - Cooyal Street - Recognise savings.	-49,000	-	0	-	0	WATER RESERVE	49,000	0
Water	Water Mains - Queen Street - Recognise savings	-17,000	-	0	-	0	WATER RESERVE	17,000	0
Water	Water Mains - Lynne Street - Savings recognised.	-14,000	-	0	-	0	WATER RESERVE	14,000	0
Water	Water Mains - Scully Street - Recognise savings.	-14,000	-	0	-	0	WATER RESERVE	14,000	0
Water	Water Mains - Fisher Street - Recognise savings.	-14,000	-	0	-	0	WATER RESERVE	14,000	0
Water	Water Wellfield Bore Integrity Upgrades - Transfer savings to fund the Rylstone Dam Monitoring equipment project.	-13,000	-	0	-	0	WATER RESERVE	13,000	0
Water	Rylstone Dam Monitoring Equipment - Budget for the Rylstone Dam monitoring equipment project. Funding from savings from Wellfield Bore integrity upgrades	13,000	-	0	-	0	WATER RESERVE	(13,000)	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
Water	Water Mains - Belmore Street - Additional gal service replacement and roc.	25,000	-	0	-	0	WATER RESERVE	(25,000)	0
Water	Water New Connections - Water connections are completed as requested. Increased rate of development.	50,000	-	0	-	0	-	0	(50,000)
Total		(8,632,161)		(186,681)		(36,269)		6,813,954	2,935,273

1.2 2021/2022

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Health Precinct Masterplan - Reallocate the current year budget into 2021/22.	-74,695	CONTRIBUTIONS	34,695	-	0	-	0	40,000
General	Art Gallery Operations - Funding received from Museum & Galleries of NSW for the "Making Conversations" cultural Project 2021/22. 2020/21 Savings in operational costs, and fair value write-offs.	13,000	GRT - ART GALLERY	(13,000)	-	0	-	0	0
General	Community Centre - Court Street Capital Works - Reallocate 30k of budget from 2020/21 to 2021/22 due to delays in the property transfer to council	30,000	-	0	-	0	-	0	(30,000)
General	Customer Services - Salaries savings due to vacancies. Future year budget adjustment to customer service team positions	30,450	-	0	-	0	-	0	(30,450)
General	Environment - Administration - Amendment to environment team resources	45,000	-	0	-	0	-	0	(45,000)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Clandulla Mountain Bike Trail Development * - Reallocate 50k from the current year budget to 2021/22 due to challenges around receiving a permit from the NSW State Forest to commence work. Further work is also required after permit is received to set up an agreement with a registered bike club to assist with maintenance and events management.	50,000	GRT - RECREATION - CAPITAL	(50,000)	-	0	-	0	0
General	Rylstone Caravan Park - Capital - Reallocate 50k of the 2020/21 budget to 2021/22 as it is a multi-year budget.	50,000	GRT - RECREATION - CAPITAL	(50,000)	-	0	-	0	0
General	Bushfire Recovery And Resilience Community Grants - Reallocate budget into the 2021/22 budget as bushfire community grant applications will not be reviewed until August 2021	62,500	GRT - BUSHFIRE & EMERGENCY SERVICES -OP	(62,500)	-	0	-	0	0
General	Stormwater Asset Survey - Recruitment of asset team has delayed the project.	64,000	-	0	-	0	ASSET REPLACEMENT RESERVE	(64,000)	0
General	Playground Shading Program - Reallocate 65k from the current year budget to the 2021/22 financial year for the additional shading at the Gulgong Adventure Playground which due to design issues had to be delayed to reach the desired result.	65,000	-	0	-	0	VPA -\$58,500, CAPITAL PROGRAM - \$6,500	(65,000)	0

CORPORATE: FINANCE |

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Urban Reseals - Belmore St Seg 10-20,50-90 - Part of the reseal works postponed to 2021/22 to accommodate water main replacement.	74,329	-	0	-	0	-	0	(74,329)
General	Putta Bucca Wetlands Toilet - Reallocate current budget to 2021/22 due to significant site investigation required for the project due to the location and flood zoning of the proposed public convenience location. There was delays in the consultant engaged for the geotechnical and septic investigation which is required before lodging the Development Application.	95,000	-	0	-	0	S94 -\$79,635, CAPITAL PROGRAM - \$15,365	(95,000)	0
General	Mudgee Valley Park Upgrade - Reallocate 100k of the 2020/21 budget to 2021/22 as it is a multi-year budget.	100,000	-	0	-	0	-	0	(100,000)
General	Seal Extension - Queens Pinch Rd - Savings allocated from Coxs Creek Rd	118,000	GRT - ROADS & BRIDGES OTHER CAPITAL	(88,500)	-	0	SEAL EXTENSION PROGRAM RESERVE	(29,500)	0
General	Mudgee Floodplain Management Plan Stage 2 - Move budget into the 2021/22 financial year due to delays in Stage 2 of the Floodplain management plan.	150,000	GRT - ENVIRONMENT GRANTS	(100,001)	-	0	-	0	(49,999)
General	Plans Of Management - Crown Lands - Plans on management to continue in 21/22	190,000	-	0	-	0	-	0	(190,000)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Billy Dunn Amenities - Reallocate 200k of the 2020/21 budget to 2021/22 as it is a multi-year budget.	200,000	GRT - RECREATION - CAPITAL	(93,089)	-	0	-	0	(106,911)
General	Goulburn River Bridge Ulan Road - Reallocate to 2021/22 as it is a multi-year project. The project will commence onsite in June 2021 and estimated completion in October.	200,000	GRT - ROADS & BRIDGES OTHER CAPITAL	(200,000)	-	0	-	0	0
General	Hill End Road Safety Improvements - Reallocate budget to 2021/22 as it is a multi-year project.	218,529	RMS CONTRIBUTIONS - CAPITAL	(218,529)	-	0	-	0	0
General	Mudgee Showgrounds - Redevelopment - Reallocate 250k of budget from 2020/21 to 2021/22 as the project is a multi-year project	250,000	GRT - RECREATION - CAPITAL	(250,000)	-	0	-	0	0
General	Urban Rehab - Church / Meares St Roundabout - Reallocate budgeted expense and funding into 2021/22 due to delays in project.	335,000	GRT - ROADS TO RECOVERY	(335,000)	-	0	-	0	0
General	Dixons Long Point Crossing - Reallocate budge to 2021/22 as it is a multi-year project.	342,543	GRT - ROADS & BRIDGES OTHER CAPITAL	(342,543)	-	0	-	0	0
General	Kandos Stormwater Upgrade - Project delayed due to Design and Consultation issues.	350,000	GRT - OTHER GRANT INCOME - CAPITAL	(350,000)	-	0	-	0	0
General	Solar Farm Initiative - Roll 400k for the solar array into 2021/22.	400,000	-	0	-	0	CAPITAL PROGRAM RESERVE	(400,000)	0

CORPORATE: FINANCE |

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Road Extension - Between Putta Bucca & Glen Willow - Reallocate 540k to 2021/22 as it is a multi-year project starting in May 2021.	540,500	GRT - ROADS & BRIDGES OTHER CAPITAL	(540,500)	-	0	-	0	0
General	Plant Purchases - Plant Purchases of \$3.72m delayed due to extensive lead times on delivery. New vehicle addition \$45k offset by deferral of two vehicles \$90k to 21/22 due to vacancies	3,810,000	-	0	-	0	PLANT REPLACEMENT RESERVE	(3,810,000)	0
Waste	Kandos WTS Office Replacement - Additional costs required to complete the works at Kandos WTS office.	80,000	-	0	-	0	-	0	(80,000)
Waste	Recycling Plant Upgrades - Allocate to 2021/22 financial year due to delays in the slab design.	193,333	-	0	-	0	WASTE RESERVE	(193,333)	0
Water	Water Mains - Mayne Street - Reallocate to 2022 due to additional projects of Church St round about and Short st/Market St taking priority over original construction schedule.	270,000	-	0	-	0	WATER RESERVE	(270,000)	0
Water	Water Augmentation - Mudgee Headworks - Tender advertisement delayed due to prioritising Mudgee STP emergency works. Physical works will not be able to be achieved in June, Defer to 2021/22.	320,615	-	0	-	0	S64	(320,615)	0
Total		8,573,104		(2,658,967)		0		(5,247,448)	(666,689)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Customer Services - Salaries savings due to vacancies. Future year budget adjustment to customer service team positions	30,450	-	0	-	0	-	0	(30,450)
General	Environment - Administration - Amendment to environment team resources	45,000	-	0	-	0	-	0	(45,000)
Total		75,450		0		0		0	(75,450)

1.4 2023/2024

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Unrestricted Cash Variation \$
General	Customer Services - Salaries savings due to vacancies. Future year budget adjustment to customer service team positions	30,450	-	0	-	0	-	0	(30,450)
General	Environment - Administration - Amendment to environment team resources	45,000	-	0	-	0	-	0	(45,000)
Total		75,450		0		0		0	(75,450)

2. Cash and Investment Summary

RESERVE	Opening Balance	Current Budgeted Movement	Proposed Budgeted Changes	Revised Budget Movement	Revised Budget Closing Balance	Actual Balance Year To Date
Internal Reserves						
Employee Leave Entitlements	2,895	500	0	500	3,395	3,270
Land Development	1,044	(505)	180	(325)	718	1,545
Election	220	(183)	0	(183)	37	228
Plant Replacement	5,467	(1,849)	3,765	1,916	7,383	6,003
Asset Replacement	2,718	(492)	161	(331)	2,386	3,148
Capital Program	667	2,173	545	2,718	3,385	3,675
Livestock Exchange	40	(11)	4	(6)	34	40
State Roads Warranty	400	(15)	0	(15)	385	400
Future Fund	520	300	0	300	820	745
Community Plan	0	0	0	0	0	0
Seal Extension Program	2,972	(171)	30	(142)	2,830	3,341
Other Internal Restrictions	3,483	(3,483)	0	(3,483)	0	871
TOTAL INTERNAL RESERVES	20,427	(3,736)	4,684	948	21,375	23,267

External Reserves

CORPORATE: FINANCE |

RESERVE	Opening Balance	Current Budgeted Movement	Proposed Budgeted Changes	Revised Budget Movement	Revised Budget Closing Balance	Actual Balance Year To Date
Waste	3,909	(648)	193	(455)	3,454	3,848
Sewer	8,430	230	259	489	8,918	9,944
Water	7,119	(888)	423	(465)	6,653	6,778
Community Services	77	0	0	0	77	77
Community Tenancy Scheme	175	45	0	45	220	198
Family Day Care	176	(84)	0	(84)	93	125
Bequest - Simpkins Park	101	0	0	0	101	101
Community Transport Vehicle Replacement	238	95	0	95	333	298
Public Road Closure Compensation	860	0	220	220	1,080	860
Other External Restrictions	45	0	0	0	45	45
Developer Contributions (VPA)	3,801	(923)	(124)	(1,047)	2,754	4,157
Developer Contributions (7.11 & 7.12)	4,312	(107)	458	350	4,663	4,621
Developer Contributions (S64 Water)	5,747	235	625	859	6,606	6,399
Developer Contributions (S64 Sewer)	3,369	242	76	318	3,686	3,615
Unspent Grants	1,799	(1,391)	0	(1,391)	409	1,147
Waste Fund Unrestricted Cash	1,107	90	307	397	1,504	1,922

RESERVE	Opening Balance	Current Budgeted Movement	Proposed Budgeted Changes	Revised Budget Movement	Revised Budget Closing Balance	Actual Balance Year To Date
Sewer Fund Unrestricted Cash	2,043	(735)	255	(480)	1,563	3,515
Water Fund Unrestricted Cash	2,358	(56)	(422)	(478)	1,880	2,648
Contract Liabilities	5,883	0	0	0	5,883	10,586
Trust Deposits	703	0	0	0	703	1,027
TOTAL EXTERNAL RESERVES	52,253	(3,896)	2,269	(1,627)	50,626	61,912
TOTAL RESERVES	72,679	-7,632	6,954	-678	72,001	85,179
Unrestricted Cash	14,344	(6,697)	2,795	(3,902)	10,442	12,798
TOTAL RESTRICTED CASH, CASH EQUIVALENTS AND INVESTMENTS	87,023	(14,329)	9,749	(4,580)	82,443	97,977

3. Unrestricted Cash by Fund

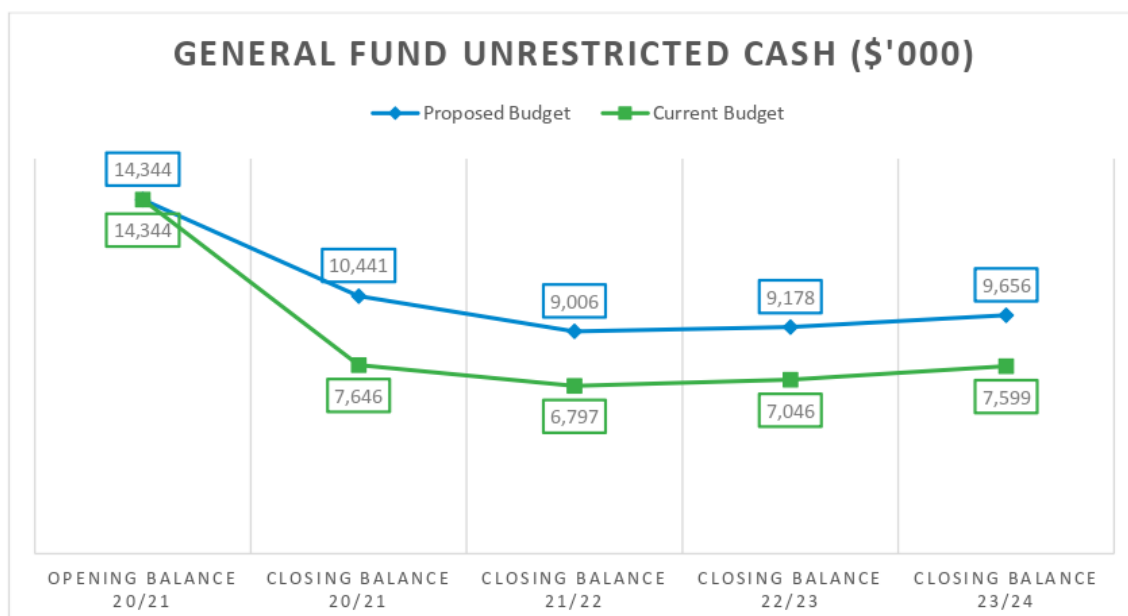
3.1 General Fund

Council finished the 2019/20 financial year with an unrestricted cash balance of \$14.344 million. As adopted by Council the Original Budget projected a decrease to 30 June 2021 of \$5.074 million. Council has since adopted the following budget movements, summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(5,074)	Decrease
Revotes	(907)	Decrease
Approved variations	(717)	Decrease
QBR proposed variations	2,795	Increase
Estimated movement to 30 June 2021	(3,903)	Decrease
Projected balance at 30 June 2021	10,441	

A projected unrestricted cash balance of \$10.4 million represents about 7 weeks of Council's 2020/21 operating expenditure budget. This is a high level of unrestricted cash and is adequate to ensure Council is able to meet its debts and obligations as they fall due.

The General Fund projected unrestricted cash balance over the next four years is shown below.



3.2 Water Fund

Council finished the 2019/20 financial year with a Water fund unrestricted cash balance of \$2.358 million. As adopted by Council the Original Budget projected an increase to 30 June 2021 of \$412k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	412	Increase
Revotes	0	Decrease
Approved variations	(468)	Decrease
QBR proposed variations	(422)	Decrease
Estimated movement to 30 June 2021	(478)	Decrease
Projected balance at 30 June 2021	1,880	

3.3 Sewer Fund

Council finished the 2019/20 financial year with a Sewer Fund unrestricted cash balance of \$2.043 million. As adopted by Council the Original Budget projected a decrease to 30 June 2021 of \$172k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(172)	Decrease
Revotes	0	Decrease
Approved variations	(563)	Decrease
QBR proposed variations	255	Increase
Estimated movement to 30 June 2021	(480)	Decrease
Projected balance at 30 June 2021	1,563	

3.4 Waste Fund

Council finished the 2019/20 financial year with a Waste Fund unrestricted cash balance of \$1.107 million. As adopted by Council the Original Budget projected an increase to 30 June 2021 of \$22k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	22	Increase
Revotes	0	Decrease
Approved variations	68	Increase
QBR proposed variations	307	Increase
Estimated movement to 30 June 2021	397	Increase
Projected balance at 30 June 2021	1,504	

3.5 Other Funds

Council maintains a number of other funds including:

- Private Works
- Saleyards
- Mudgee Sports Council
- Gulgong Sports Council
- Rylstone Sports Council

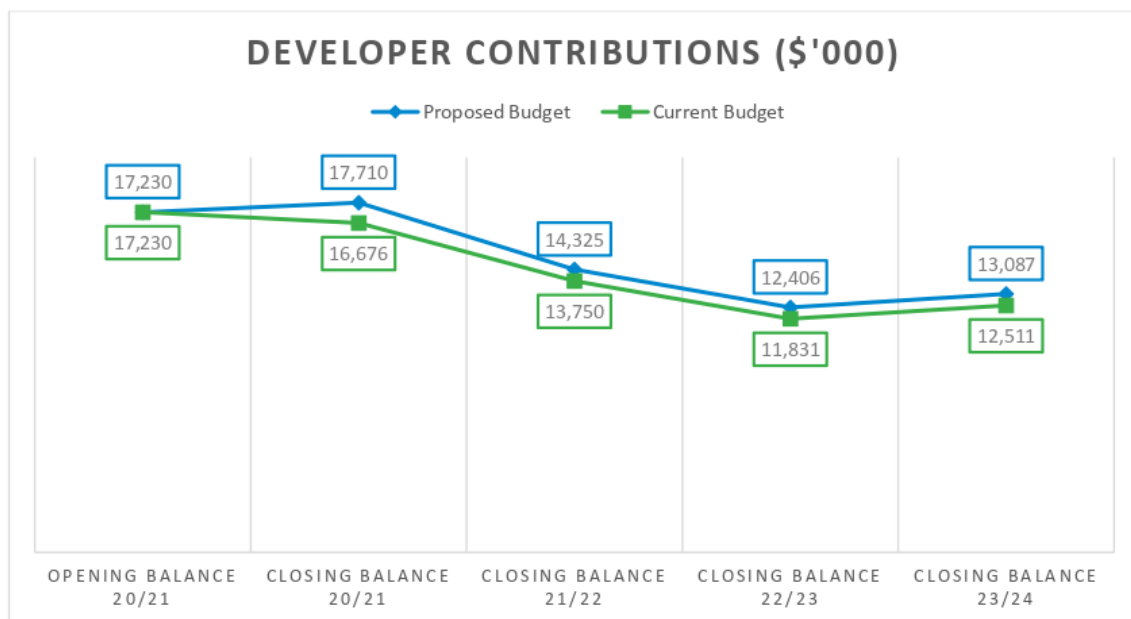
At 30 June of each financial year, the cash balance held in the above Funds forms part of the overall General Fund Unrestricted Cash Balance.

4. Developer Contributions – Section 64, 7.11 and 7.12

Council finished the 2019/20 financial year with a Developer Contributions balance of \$17.23 million. As adopted by Council the Original Budget projected a decrease to 30 June 2021 of \$2.493 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(2,493)	Decrease
Revotes	(79)	Decrease
Approved variations	2,018	Increase
QBR proposed variations	1,034	Increase
Estimated movement to 30 June 2021	480	Increase
Projected balance at 30 June 2021	17,710	

The following chart shows the projected balances over a four year period.



Detailed Section 64, 7.11 & 7.12 movements and current balances are as follows:

Plan Item	Opening Balance	Budget Transfers To	Budget Transfers From	Budget Closing Balance	Current Balance
Traffic Management	738	216	20	934	921
Open Space	1,437	322	5	1,754	1,752
Community Facilities	672	60	12	720	719
Administration	402	74	40	436	440
Civic Improvements	22	-	-	22	22
Car Parking	261	-	-	261	261
S94A Levies	623	45	310	358	345
Drainage – 2A	157	22	-	179	173
Total 7.11 Contributions	4,312	739	387	4,664	4,633
S64 Sewer	3,369	318	-	3,687	3,620
S64 Water	5,747	784	(75)	6,606	6,412
Voluntary Planning Agreements	3,801	1,251	2,298	2,754	4,159
Total Developer Contributions	17,229	3,092	2,610	17,711	18,824

5. Loan Borrowings

Council's 2020/21 Operational Plan includes the proposed borrowings below.

Project	Fund	Original Budget \$'000	Current Budget \$'000	Proposed Variations \$'000	Proposed Budget \$'000	Actual YTD \$'000
New Tip Cell Construction	Waste	2,000	2,000	(2,000)	0	0

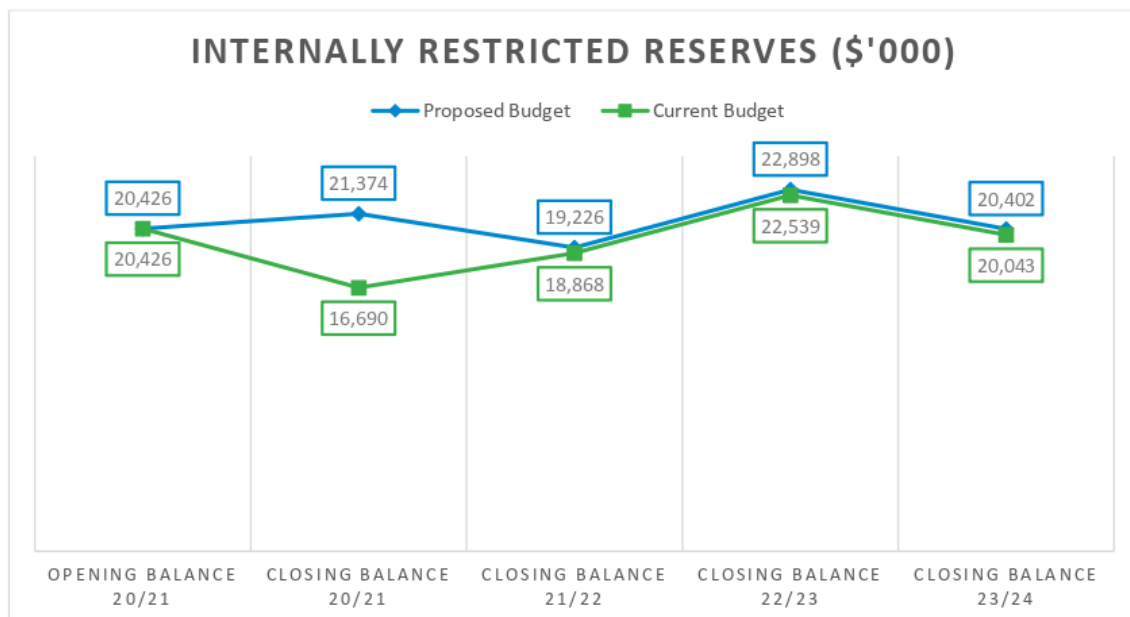
6. Reserves

6.1 Internally Restricted Reserves

Council finished the 2019/20 financial year with an Internally Restricted Reserve balance of \$20.426 million. As adopted by Council the Original Budget projected an increase to 30 June 2021 of \$3.634 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	3,634	Increase
Revotes	(187)	Decrease
Approved variations	(7,183)	Decrease
QBR proposed variations	4,684	Increase
Estimated movement to 30 June 2021	948	Increase
Projected balance at 30 June 2021	21,374	

The following chart shows the projected balances over a four year period.

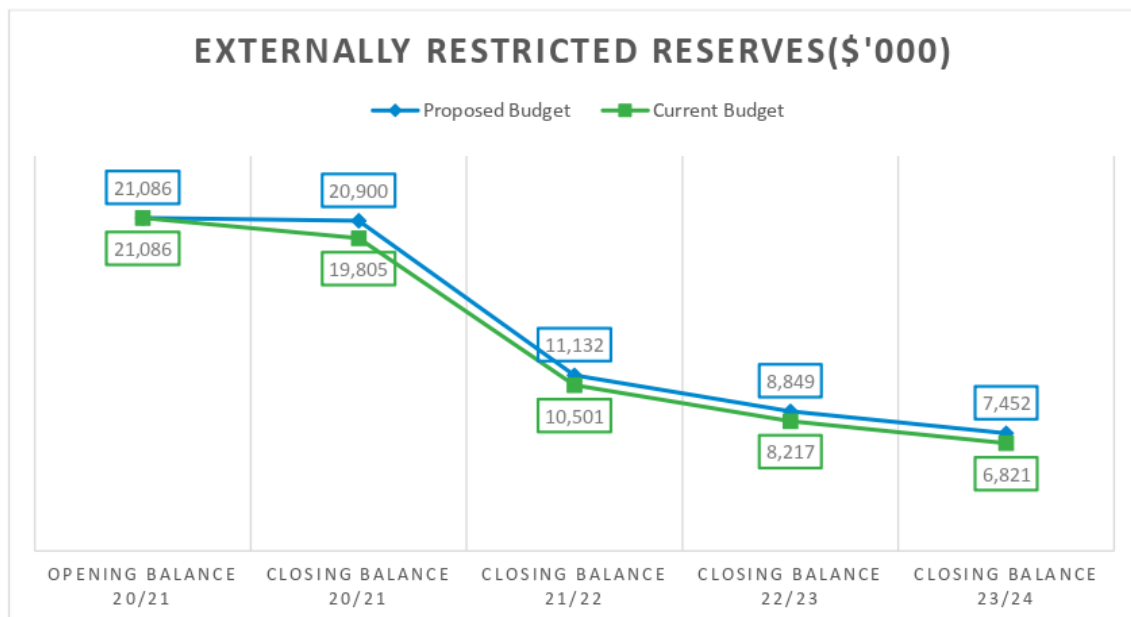


6.2 Externally Restricted Reserves

Council finished the 2019/20 financial year with an Externally Restricted Reserve balance of \$21.086 million. As adopted by Council the Original budget projected a decrease to 30 June 2021 of \$10.65 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(10,650)	Decrease
Revotes	(496)	Decrease
Approved variations	9,865	Increase
QBR proposed variations	1,095	Increase
Estimated movement to 30 June 2021	(186)	Decrease
Projected balance at 30 June 2021	20,900	

The following chart shows the projected balances over a four year period.



7. Unspent Grants and Contributions

7.1 Unspent Grants recognised as revenue

Council finished the 2019/20 financial year with unspent grants and contributions of \$1.8 million. As adopted by Council the Original Budget projected a decrease of \$1.37 million to 30 June 2021. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(1,370)	Decrease
Revotes	0	Decrease
Approved variations	(21)	Decrease
QBR proposed variations	0	Decrease
Estimated movement to 30 June 2021	(1,391)	Decrease
Projected balance at 30 June 2021	408	

7.2 Unspent Grant recognised as contract Liabilities

Contract liabilities arise where Council has received grant funds in advance of completing the requirements of the funding. Therefore these fund are shown as an external restriction.

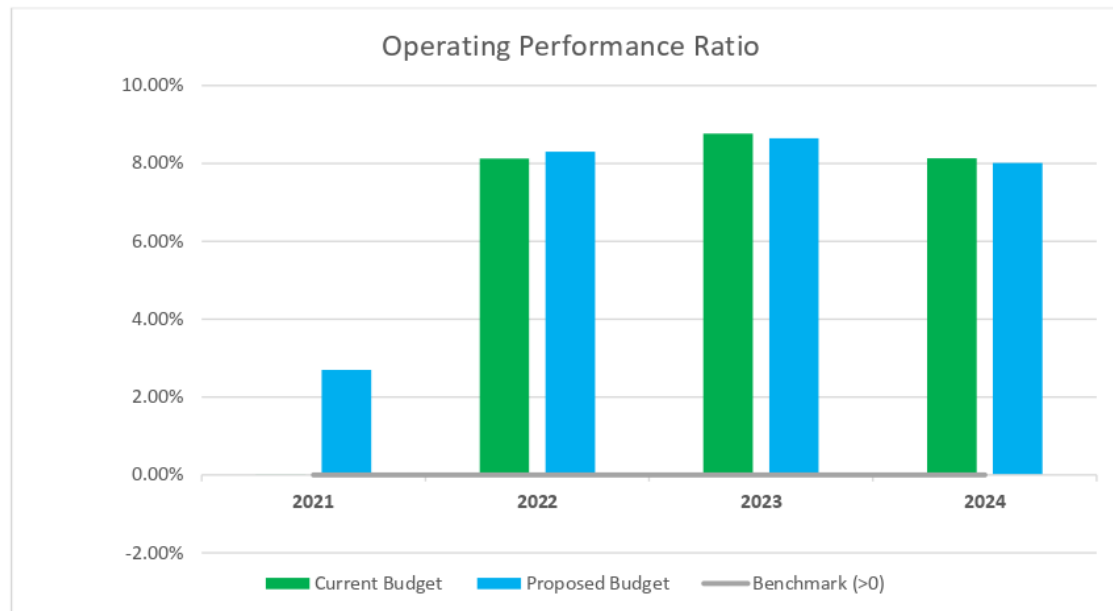
This quarter the balance of liabilities increased by \$407,397 to \$10.58 million. This is mainly due to the receipt of grant funding payment in advance for the grant \$840,529.

8. Consolidated Balance Sheet and Income Statement

Balance Sheet		
\$'000	ACTUAL YTD	ACTUAL 30 JUNE 2020
ASSETS		
Current Assets		
Cash & Cash Equivalents	8,005	6,029
Investments	72,326	70,150
Receivables	15,910	8,468
Inventories	1,714	1,372
Contract Assets	-	6,542
Other	26	26
Total Current Assets	97,981	92,587
Non-Current Assets		
Investments	17,700	10,800
Receivables	-	-
Infrastructure, Property, Plant & Equipment	1,013,140	1,002,780
Investment Property	7,440	7,440
Intangible Assets	200	271
Right of use assets	150	150
Total Non-Current Assets	1,038,630	1,021,441
TOTAL ASSETS	1,136,611	1,114,028
LIABILITIES		
Current Liabilities		
Payables	4,393	9,293
Income received in advance	68	68
Contract liabilities	10,725	6,113
Lease liabilities	38	38
Borrowings	762	1,482
Provisions	7,826	7,850
Total Current Liabilities	23,812	24,844
Non-Current Liabilities		
Lease liabilities	111	111
Borrowings	10,441	10,441
Provisions	5,507	5,507
Total Non-Current Liabilities	16,059	16,059
Total LIABILITIES	39,871	40,903
Net Assets	1,096,740	1,073,125
EQUITY		
Retained Earnings	491,352	467,189
Revaluation Reserves	605,388	605,936
Other Reserves	-	-
Total Equity	1,096,740	1,073,125

Income Statement								
\$'000	ORIGINAL ANNUAL BUDGET	APPROVED VARIATIONS	REVISED ANNUAL BUDGET	ACTUAL YTD	% REMISED BUDGET	PROPOSED VARIATIONS	PROJECTED ANNUAL BUDGET	% PROJECTED ANNUAL BUDGET
INCOME								
Rates & Annual Charges	43,639	(4)	43,635	43,727	100%	86	43,721	100%
User Charges & Fees	12,819	4,515	17,334	9,263	53%	1,424	18,758	49%
Interest & Investment Revenue	2,097	-	2,097	1,345	64%	(278)	1,819	74%
Other Revenues	1,596	(45)	1,551	1,026	66%	161	1,712	60%
Grants & Contributions Operating	18,033	(4,109)	13,924	9,458	68%	(71)	13,853	68%
Grants & Contributions Capital	32,513	1,411	33,924	13,846	41%	(982)	32,942	42%
Rental Income	2,010	50	2,060	1,819	88%	214	2,274	80%
Total Income	112,707	1,818	114,525	80,484	70%	554	115,079	70%
EXPENDITURE								
Employee Benefits & Oncosts	28,984	(139)	28,845	19,907	69%	(835)	28,010	71%
Borrowing Costs	777	(22)	755	523	69%	(40)	715	73%
Materials & Contracts	16,053	7,624	23,677	11,389	48%	806	24,483	47%
Depreciation & Amortisation	15,931	1,939	17,870	13,485	75%	251	18,121	74%
Other Expenses	8,572	73	8,645	5,417	63%	(342)	8,303	65%
Loss on Disposal of Assets	654	(48)	606	(1,274)	0%	1,084	1,690	-75%
Total Expenditure	70,971	9,427	80,398	49,447	62%	924	81,322	61%
Net Result	41,736	(7,609)	34,127	31,037		(370)	33,757	
Net Result before Capital Items	9,223	(9,020)	203	17,191		612	815	

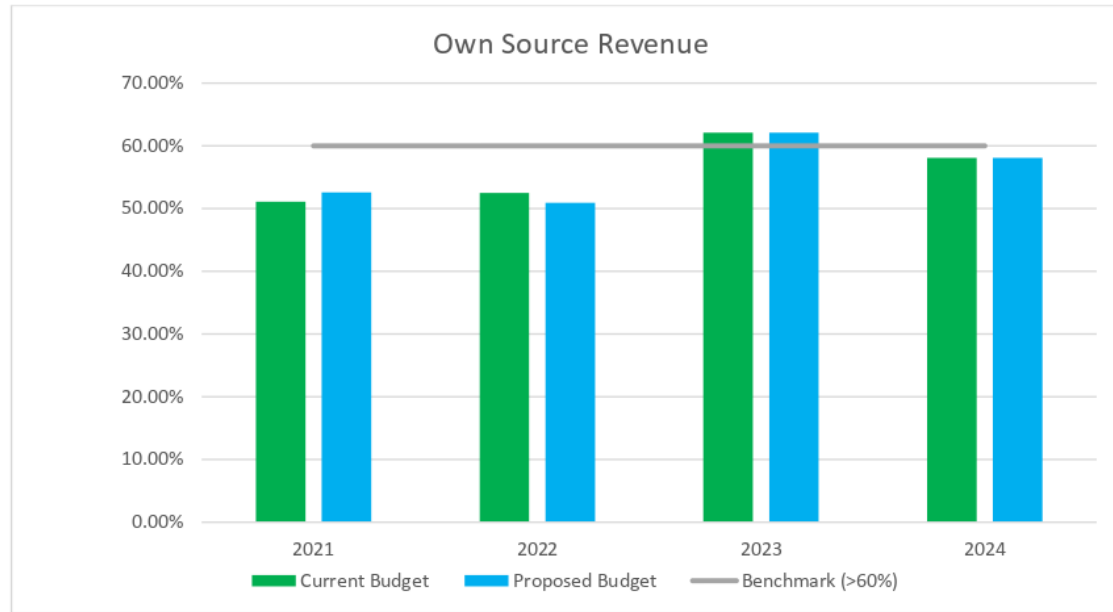
Key Financial Indicators



Note: Excludes Water & Sewer Fund

Measures Council's ability to keep operating expenses, including depreciation, within its continuing revenue.

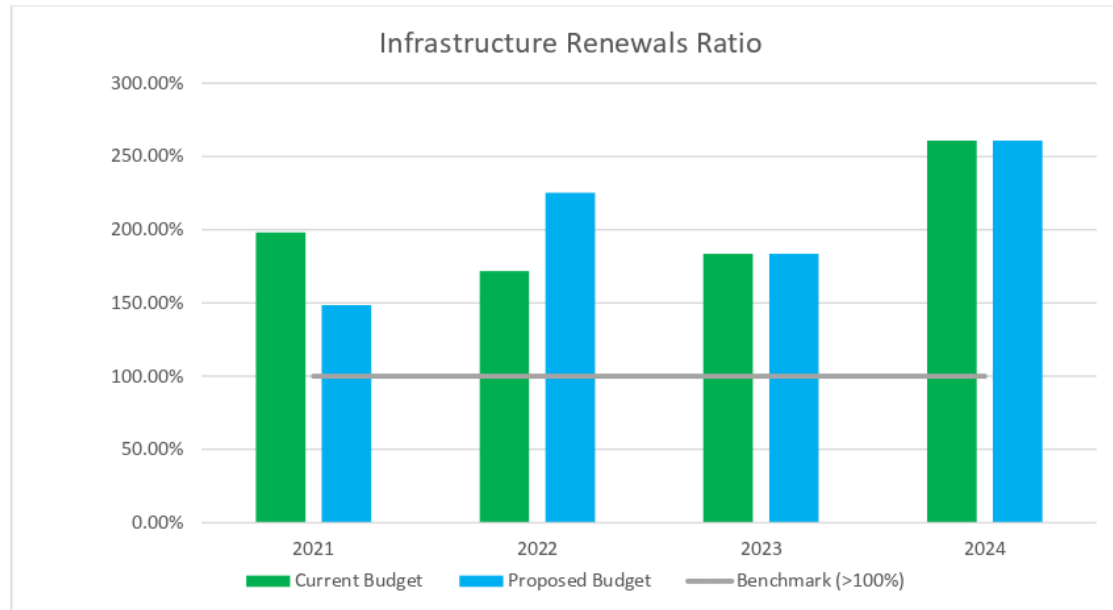
The main reason for an increase in this ratio from 0% to 2.7% is due to an increase in forecast revenue from Transport for NSW State Roads contract works.



Note: Excludes Water & Sewer Fund

Measures Council's degree of reliance on external funding

A small improvement is due to deferral of grant income to 2021/22.



Note: Excludes Water & Sewer Fund

The rate at which assets are being renewed against the rate of depreciation

The deterioration in this ratio is mainly due to deferral of capital works to 2021/22.

Capital Budget Funding

Capital Funding (\$ '000)	ORIGINAL ANNUAL BUDGET	APPROVED VARIATIONS	CURRENT ANNUAL BUDGET	PROPOSED VARIATIONS	PROPOSED ANNUAL BUDGET	ACTUAL YTD	ACTUAL YTD/ PROPOSED ANNUAL BUDGET
Capital Grants & Contributions	(34,707)	(1,009)	(35,716)	2,274	(33,442)	(12,603)	38%
Loans	(2,000)	2,000	0	0	0	0	0%
External Restrictions							
S94 Developer Contributions - General	(347)	(71)	(418)	80	(339)	(332)	98%
S64 Developer Contributions - Water Fund	(1,380)	1,134	(245)	321	75	0	0%
S64 Developer Contributions - Sewer Fund	(1,175)	1,175	0	0	0	0	0%
S93F Developer Contributions	(1,463)	(830)	(2,293)	59	(2,235)	(806)	36%
Specific Purpose Unexpended Grants	(995)	696	(299)	0	(299)	(184)	62%
Specific Purpose Unexpended Grants - Water	(270)	270	0	0	0	0	0%
Reserves - Water	(6,595)	4,206	(2,388)	423	(1,965)	(1,466)	75%
Reserves - Sewerage Services	(7,206)	5,236	(1,970)	259	(1,711)	(135)	8%
Reserves - Domestic Waste Management	(1,146)	298	(848)	193	(655)	(211)	32%
Reserves - Ulan Road Strategy	(174)	174	0	0	0	0	0%
Internal Restrictions			0		0		0%
Reserves - Plant & Vehicle Replacement	(6,165)	(756)	(6,921)	3,765	(3,156)	(1,676)	53%
Reserves - Asset Replacement	(3,084)	756	(2,328)	102	(2,226)	(988)	44%
Reserves - Capital Program	(3,651)	(1,683)	(5,334)	545	(4,789)	(2,634)	55%
Reserves - Land Development	0	(2,234)	(2,234)	180	(2,054)	(577)	28%
Reserves - Saleyards	(10)	(1)	(11)	4	(6)	0	0%

Capital Funding (\$ '000)	ORIGINAL ANNUAL BUDGET	APPROVED VARIATIONS	CURRENT ANNUAL BUDGET	PROPOSED VARIATIONS	PROPOSED ANNUAL BUDGET	ACTUAL YTD	ACTUAL YTD/ PROPOSED ANNUAL BUDGET
Reserves - Seal Extension	(400)	(460)	(860)	30	(831)	(230)	28%
Income from Sale of Assets			0		0		
General Purpose Revenue	(7,244)	(88)	(7,332)	1,017	(6,314)	(9,415)	149%
Total Capital Funding	(78,011)	8,812	(69,198)	9,251	(59,947)	(31,258)	52%

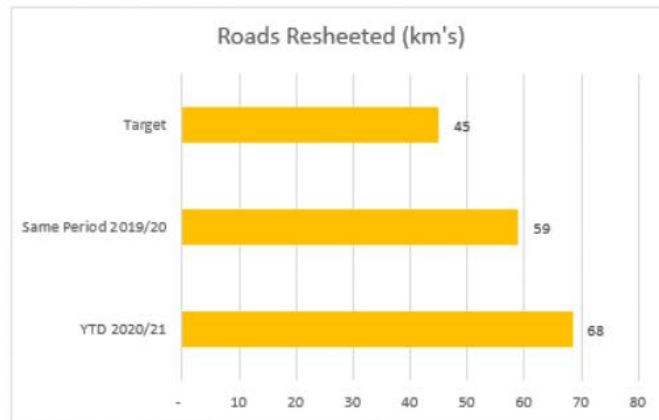
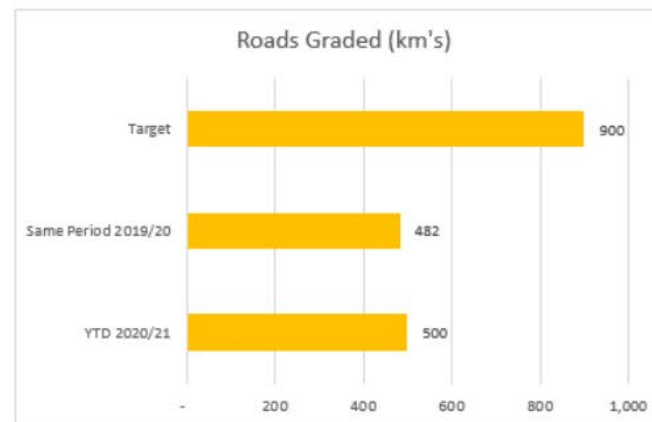
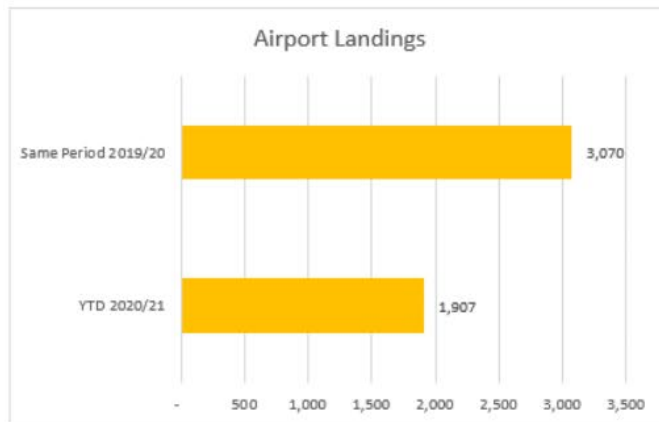
CAPITAL EXPENDITURE (\$ '000)	ORIGINAL ANNUAL BUDGET	APPROVED VARIATIONS	CURRENT ANNUAL BUDGET	PROPOSED VARIATIONS	PROPOSED ANNUAL BUDGET	ACTUAL YTD	ACTUAL YTD/ PROPOSED ANNUAL BUDGET
New Assets							
Buildings	7,621	1,274	8,895	(330)	8,565	4,300	50%
Roads	1,031	520	1,552	(335)	1,217	410	34%
Bridges	1,478	(303)	1,175	(343)	833	432	52%
Footpaths	200	1,269	1,469	0	1,469	507	34%
Water Network Assets	93	20	113	50	163	117	72%
Sewer Network Assets	643	(490)	153	10	163	145	89%
Open space and recreational assets	297	175	472	(115)	357	54	15%
Swimming Pools	70	10	80	0	80	1	1%
Other Structures	213	754	967	(425)	542	141	26%

CAPITAL EXPENDITURE (\$ '000)	ORIGINAL ANNUAL BUDGET	APPROVED VARIATIONS	CURRENT ANNUAL BUDGET	PROPOSED VARIATIONS	PROPOSED ANNUAL BUDGET	ACTUAL YTD	ACTUAL YTD/ PROPOSED ANNUAL BUDGET
Land - Operational	0	3,584	3,584	0	3,584	2,076	58%
Land for resale	0	200	200	(180)	20	9	47%
Office Equipment	20	0	20	0	20	14	71%
Total Capital Expenditure on New Assets	11,666	7,014	18,680	(1,668)	17,013	8,207	48%
Renewal & Upgrade							
Plant and Equipment	6,221	1,801	8,022	(3,765)	4,257	1,943	46%
Buildings	3,356	(1,307)	2,050	(426)	1,624	797	49%
Roads	14,724	3,064	17,789	(1,200)	16,589	9,975	60%
Bridges	600	(197)	403	(203)	200	33	17%
Footpaths	186	30	216	0	216	113	52%
Stormwater	508	654	1,161	(524)	637	134	21%
Culvert and causeways	65	0	65	0	65	21	32%
Water Network Assets	11,592	(8,604)	2,988	(744)	2,244	1,484	66%
Sewer Network Assets	8,538	(6,697)	1,841	(259)	1,583	84	5%
Open space and recreational assets	15,773	(3,582)	12,191	(245)	11,946	6,580	55%
Swimming Pools	286	5	291	0	291	91	31%
Other Structures	2,190	201	2,390	(159)	2,231	1,110	50%
Tip remediation	2,000	(1,892)	108	0	108	77	71%
Land for resale	0	586	586	(60)	526	538	102%
Library	91	0	91	0	91	70	77%
Intangible Assets	41	2	43	0	43	0	0%
Office Equipment	172	110	282	0	282	0	0%

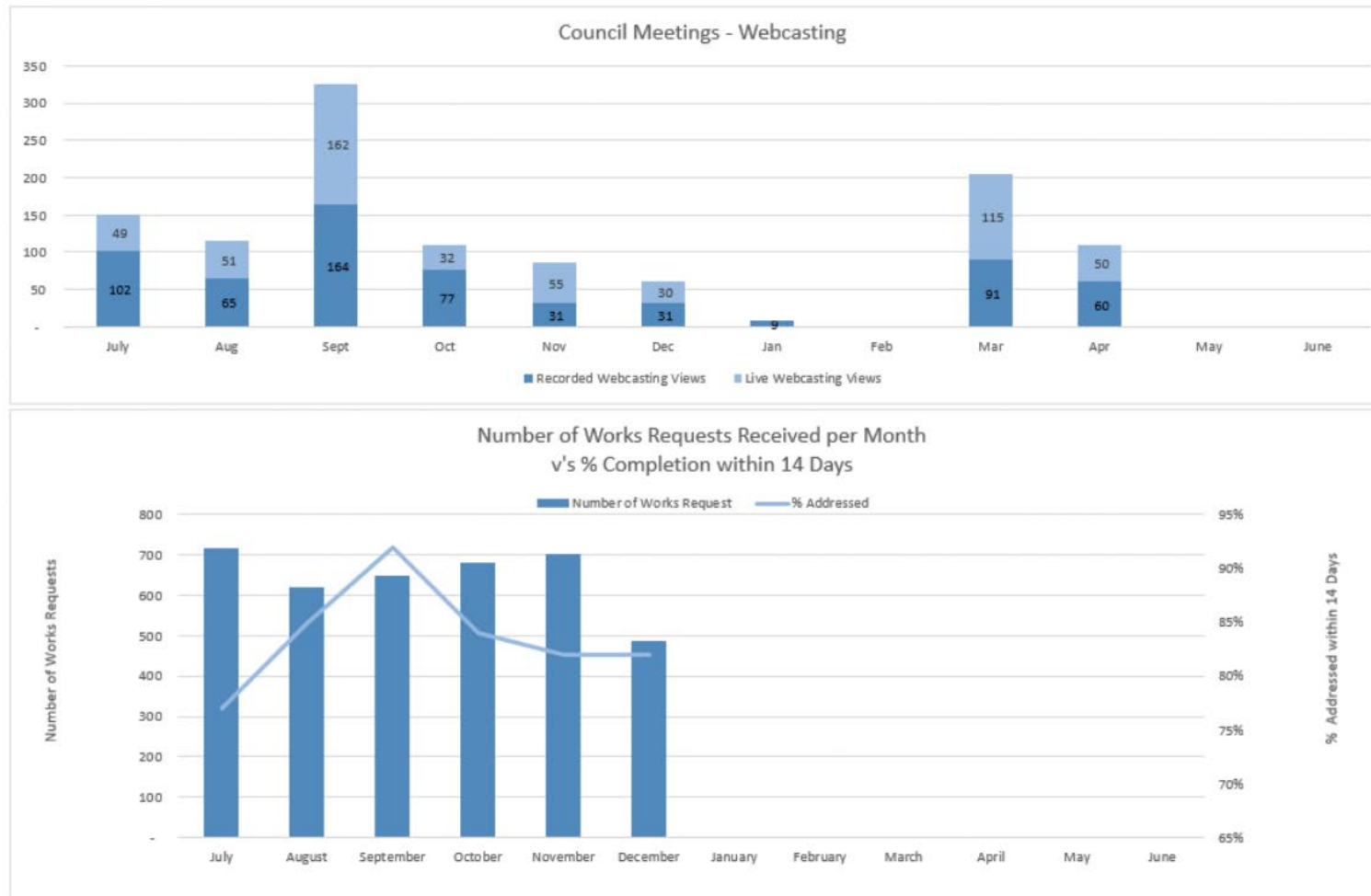
CAPITAL EXPENDITURE (\$ '000)	ORIGINAL ANNUAL BUDGET	APPROVED VARIATIONS	CURRENT ANNUAL BUDGET	PROPOSED VARIATIONS	PROPOSED ANNUAL BUDGET	ACTUAL YTD	ACTUAL YTD/ PROPOSED ANNUAL BUDGET
Total Capital Expenditure on Renewal	66,344	(15,826)	50,518	(7,584)	42,934	23,050	54%
Total Capital Expenditure	78,011	(8,812)	69,198	(9,251)	59,947	31,258	52%

9. Key Performance Indicators

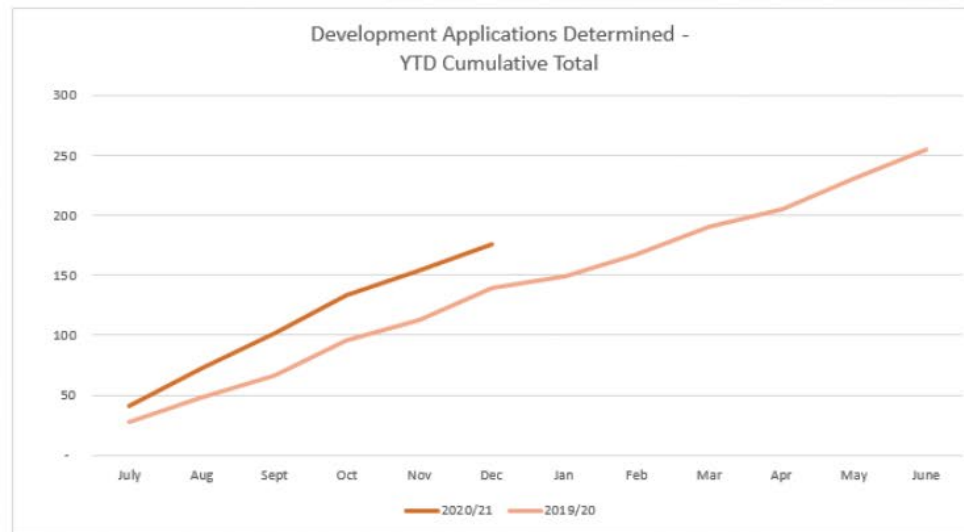
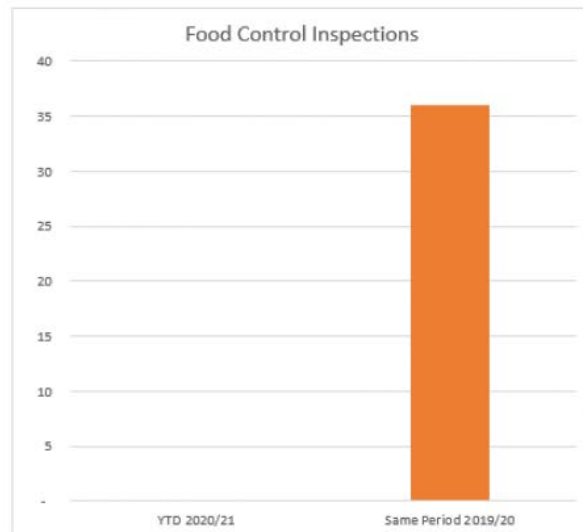
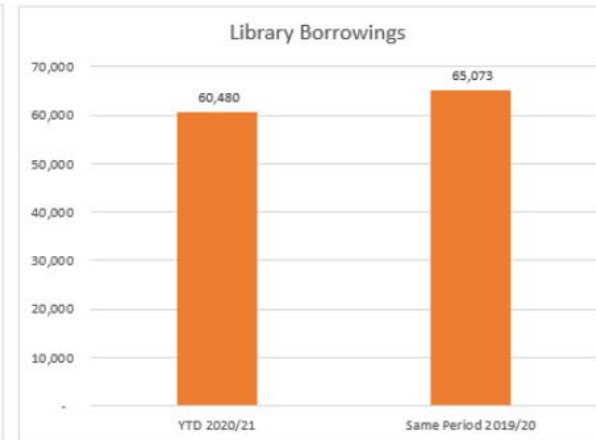
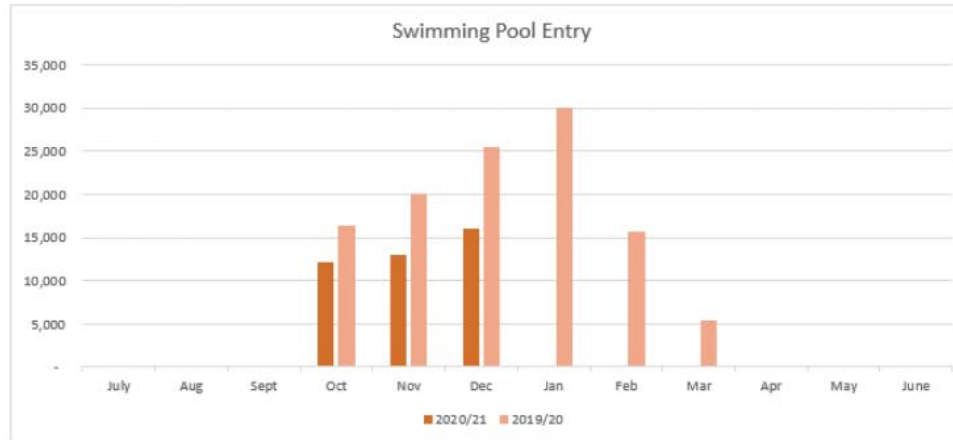
9.1 Connecting Our Region



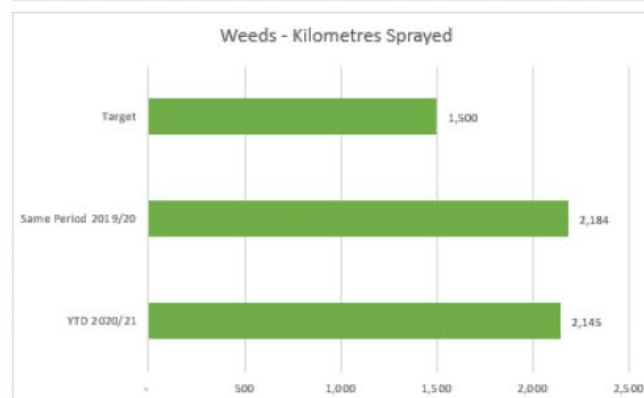
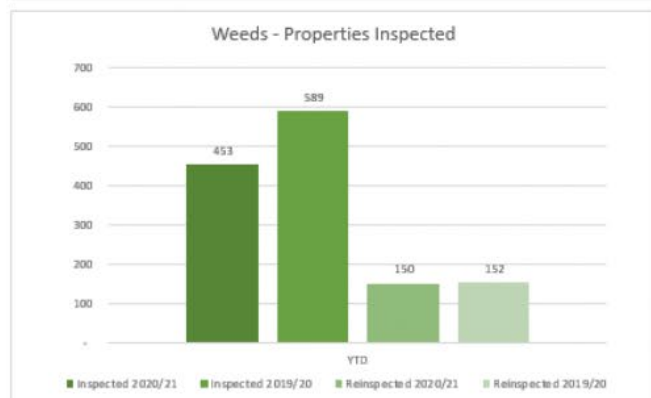
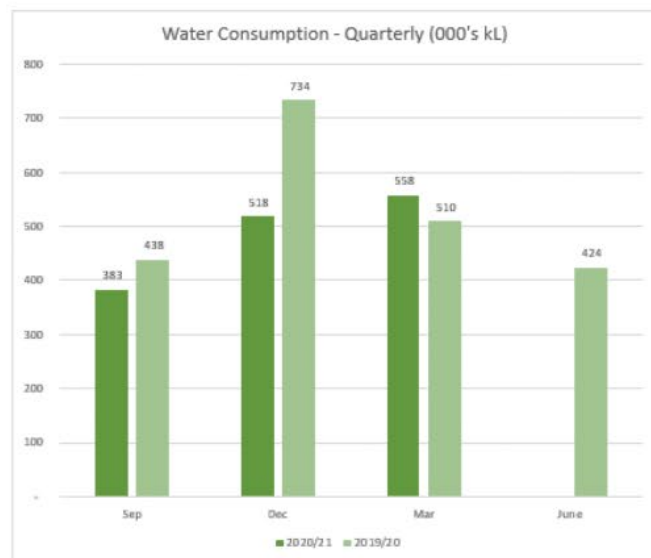
9.2 Good Government



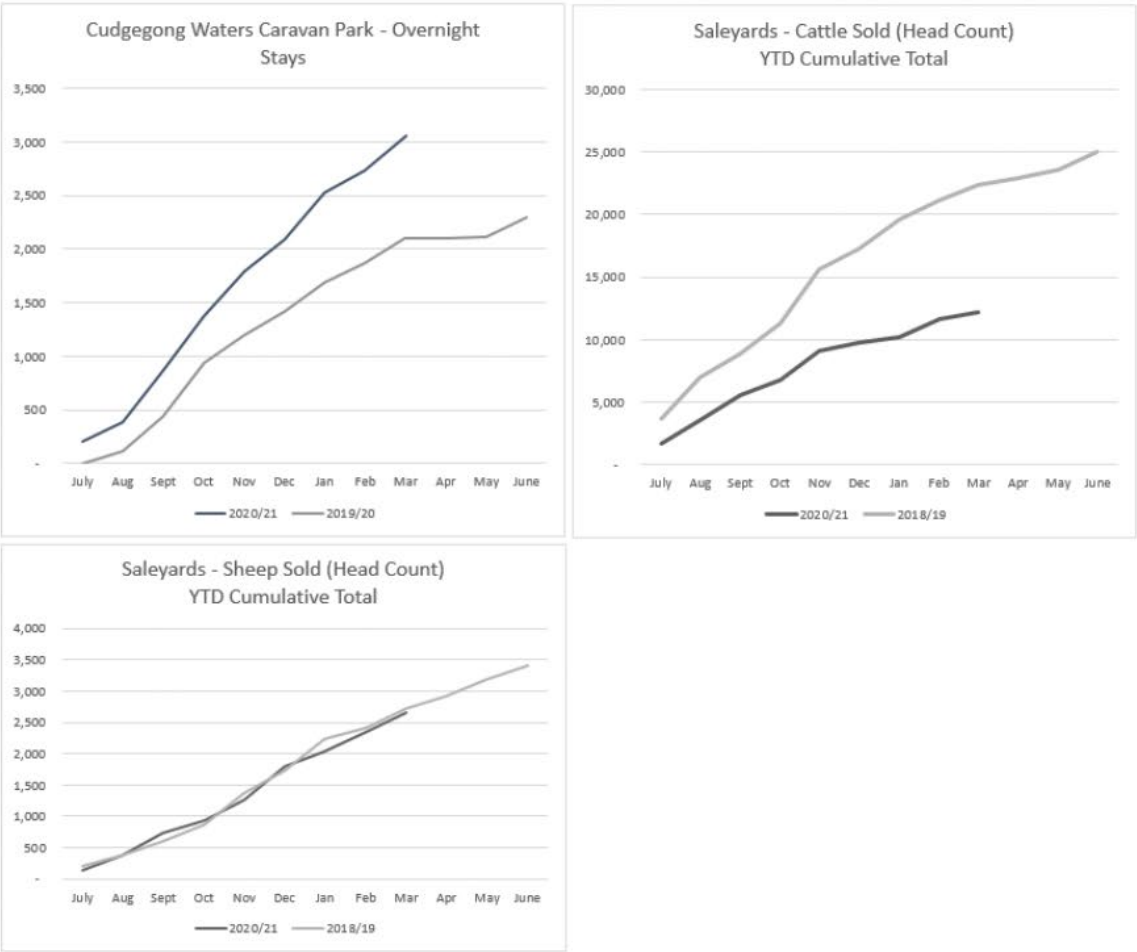
9.3 Looking after Our Community



9.4 Protecting our Natural Environment



9.5 Building a Strong Local Economy



10. Contract, Legal and Consultant Expenses

CONTRACTS > \$50,000

The following contracts with a value greater than \$50,000 were entered into during the quarter and have yet to be fully performed.

Note that individual Panel Tender appointments are not included in the table below. For example, provision of general contractor services. Council creates panels of preferred suppliers from the tender responses received. Purchases are then made from the preferred supplier lists, and purchase decisions may vary for particular works depending upon availability and location.

Contractor	Contract Detail/Purpose	Contract Value (\$)	Commencement Date	Duration (Months)	Budgeted (Y/N)
Collins and Turner	Architectural Services for Mudgee Administration Conceptual Design	74,305	12/03/2021	3	Y
NRL	Manly Home Game	Confidential	16/02/2021	3	Y

LEGAL EXPENSES

This financial year to date, Council has incurred \$203,996 of legal expenses. The primary areas of expenditure are:

- Road closures & realignment
- Property sales and purchases
- Development Control
- Companion animal dispute
- Water supply
- Debt Recovery

CONSULTANCIES

A consultant is a person or organisation engaged under contract on a temporary basis to provide recommendations or high level specialist or professional advice to assist decision making by management. Generally, it is the advisory nature of the work that differentiates a consultant from other contractors.

This financial year to date, Council has incurred \$331,902 of consultancy expenses. The primary areas of expenditure are:

- Engineering services
- Bridge Inspections
- Parking Study
- Airport Runway Surface
- Flood Study
- Streetscape design
- Street lighting design
- Kerb & Gutter design and survey
- Cybersecurity risk assessment

11. Councillor Fees and Expenses Paid or Reimbursed as at 31 March 2021

Councillor Expenses											
	General Operations	Cr Cavalier	Cr Holden	Cr Karavas	Cr Kennedy	Cr Martens	Cr O'Neill	Cr Paine	Cr Shelley	Cr Thompson	TOTAL
Councillor Fees	-	15,210.00	15,210.00	15,210.00	15,210.00	15,210.00	14,210.00	15,210.00	15,210.00	15,210.00	135,890.00
Mayoral Fees	-	-	-	-	33,187.50	-	-	-	-	-	33,187.50
Council Meeting Expenses (accommodation, travel and meals)	4,524.80	-	-	-	-	770.46	-	-	-	-	5,295.26
Conferences, Seminars and Representational/Lobbying Expenses (accommodation, travel and meals)	-	-	-	-	-	628.32	-	-	926.64	499.20	2,054.16
Provision of Vehicle	-	-	-	-	5,175.60	-	-	-	-	-	5,175.60
Memberships & Subscriptions	31,023.54	-	-	-	-	-	-	-	-	-	31,023.54
Miscellaneous expenses (meals, sundries, stationery, etc)	545.46	-	-	-	169.16	10.87	-	-	38.48	-	763.97
Provision of office equipment, such as laptop computer and telephones	114.03	1,319.31	784.29	289.20	1,695.97	562.88	213.72	181.00	1,369.45	521.00	7,050.85
Totals	24,878.54	16,529.31	15,994.29	15,499.20	55,967.05	17,182.53	14,423.72	15,391.00	17,544.57	16,230.20	220,440.88



*Protecting our
Natural Environment*

MUDGEES COMMON

PLAN OF MANAGEMENT

30 APRIL 2021

MID-WESTERN REGIONAL COUNCIL
OPERATIONS

■ ■ ■ ■ ■ TOWARDS 2030



OPERATIONS | MUDGEES COMMON

Acknowledgements

Mudgee Common Plan of Management

Applied Ecology Pty Limited

THIS DOCUMENT HAS BEEN PREPARED BY CASSANDRA LINEY, ENVIRONMENT COORDINATOR FOR MID-WESTERN REGIONAL COUNCIL. VERSION 3

ANY QUESTIONS IN RELATION TO THE CONTENT OF THIS DOCUMENT SHOULD BE DIRECTED TO:
COUNCIL@MIDWESTERN.NSW.GOV.AU OR (02) 6378 2850

DATE OF PUBLICATION: UPDATED MARCH 2021

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1. Executive Summary

The subject land is identified as Lot 7304 in DP 1151583, described as Reserve 120019, 58 Common Road, Mudgee, NSW 2850. The subject site is 110ha in area, is located to the west of Mudgee and is adjacent to the Avisford Nature Reserve.

Reserve 120019 for the purpose of Public Recreation was notified in the Government Gazette on 23 January 1987. The Mudgee Recreation (R120019) Trust was established by Government Gazette on 14 December 1990 (s92(1) CLA) and The Council of the Shire of Mudgee was appointed to manage the affairs of the Trust on 14 December 1990.

Although known as Mudgee Common, the land is not a Common for the purposes of the former Commons Management Act 1989. Following the introduction of the Crown Land Management Act 2016 (CLM Act) Council is crown land manager of Reserve 120019. Under Division 3.4 of the CLM Act, Crown land that is managed by a Council crown land manager is to be treated as Community Land for the purposes of the Local Government Act 1993 (LG Act). Section 35 of the LG Act requires Community Land to be used and managed in accordance with a Plan of Management.

Access to the site is provided by the existing unsealed road known as Common Road, which adjoins Bellevue Road. A locked gate prevents unauthorised vehicles from entering the site. The area is densely vegetated with native and some non-native species. The local mountain bike riders have developed a number of trails throughout the site.

It should be noted that there are other users of the site aside from mountain bike riders. These include walkers and birdwatchers amongst others. The purpose of this plan is to provide direction for the future use and development of Mudgee Common. The proposed development of the trails is detailed in the appendices of this report.

It should be noted that the use of the Common for riding motorcycles and 4WDs is prohibited.

Land uses adjoining the subject area include National Parks and Nature Reserves to the west, and urban release areas to the north, the town of Mudgee to the east and further privately owned E3 zoned land to the south.

In September 2015 Council engaged Applied Ecology to undertake an ecological assessment of the Mudgee Common after receiving reports in October 2014 that the threatened species *Swainsona recta* was discovered. In October 2020 Council engaged The Environmental Factor to resurvey the threatened species numbers, as of October 2020 there were 1750 *Swainsona recta* records and 1054 *Swainsona sericea* records.

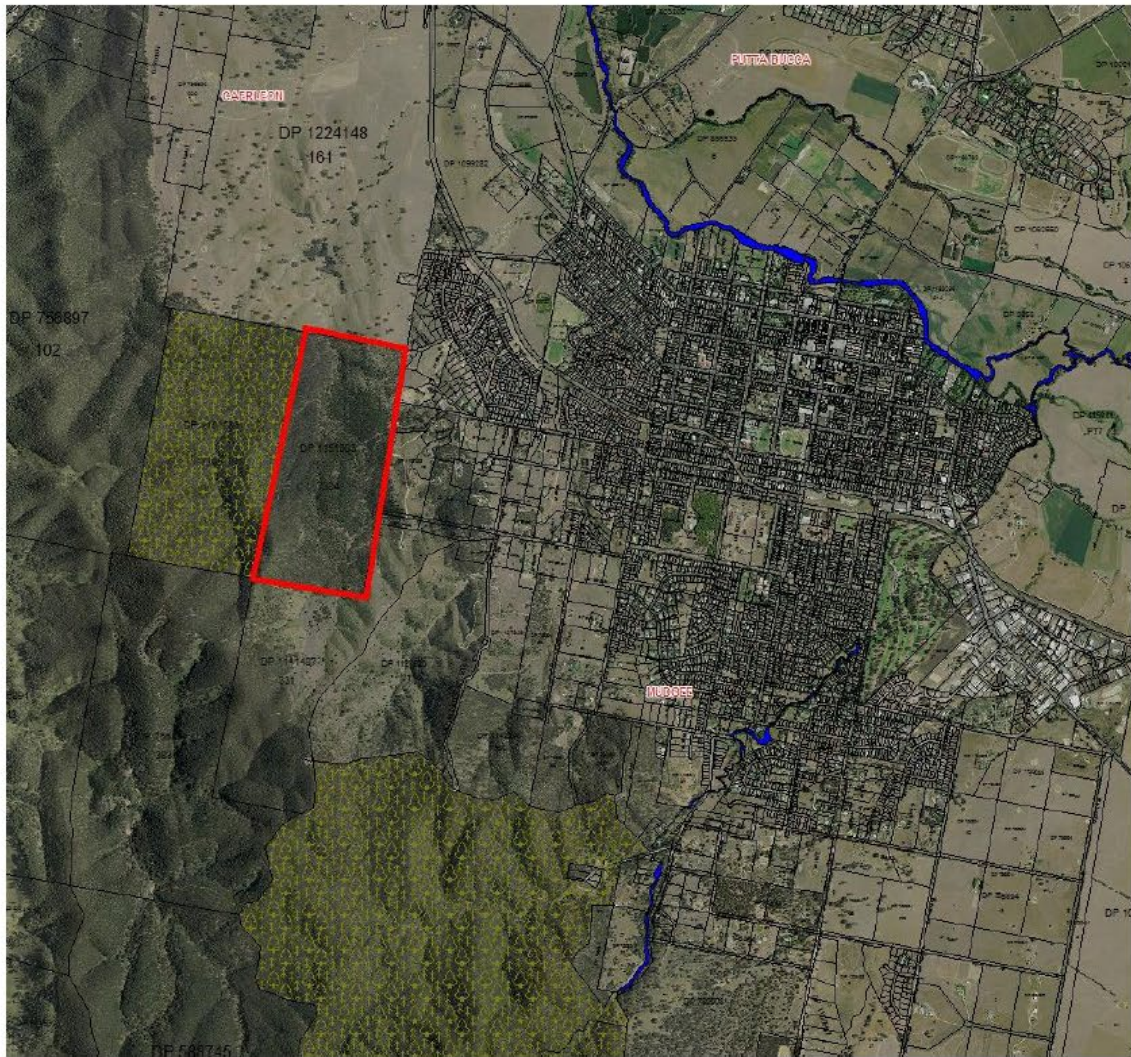


FIGURE 1-LOCALITY MAP

2. Relevant Legislation

2.1 Crown Land Management Act 2016

The land is owned by the State of NSW and is subject to the provisions of the Crown Land Management Act 2016 (CLM Act). Reserve 120019 for the purpose of Public Recreation was notified in the Government Gazette on 23 January 1987. The Mudgee Recreation (R120019) Trust was established by Government Gazette on 14 December 1990 (s92(1) CLA) and The Council of the Shire of Mudgee was appointed to manage the affairs of the Trust on 14 December 1990. Following various legislative changes in the management of Crown land, and changes in the areas and names of local government authorities Mid-Western Regional Council is now Crown land manager of Reserve 120019 for the purposes of the CLM Act.

Division 3.4 of the CLM Act provides that Crown land, managed by a Council crown land manager, is to be treated as Community Land for the purposes of the Local Government Act 1993 (LG Act). Section 35 of the LG Act requires Community Land to be used and managed in accordance with a Plan of Management. Section 3.23 of the CLM Act provides for the preparation and adoption of Plans of Management on Crown land. As this POM alters the initial categorisation under section 3.23(2) of the CLM Act, consent of the Minister administering the CLM Act is required.

2.2 Local Government Act 1993

In accordance with the provisions set out in the LG Act and accompanying Regulations, Mudgee Common should be classified into the following category of Community Land:

- Natural Area – Bushland

The core objectives for management of community land categorised as bushland are:

- (a) to ensure the ongoing ecological viability of the land by protecting the ecological biodiversity and habitat values of the land, the flora and fauna (including invertebrates, fungi and micro-organisms) of the land and other ecological values of the land, and
- (b) to protect the aesthetic, heritage, recreational, educational and scientific values of the land, and
- (c) to promote the management of the land in a manner that protects and enhances the values and quality of the land and facilitates public enjoyment of the land, and to implement measures directed to minimising or mitigating any disturbance caused by human intrusion, and
- (d) to restore degraded bushland, and
- (e) to protect existing landforms such as natural drainage lines, watercourses and foreshores, and
- (f) to retain bushland in parcels of a size and configuration that will enable the existing plant and animal communities to survive in the long term, and
- (g) to protect bushland as a natural stabiliser of the soil surface

The LG Act further specifies the core objectives for areas of this classification. The core objectives for management of community land categorised as a natural area are:

- a) to conserve biodiversity and maintain ecosystem function in respect of the land, or the feature or habitat in respect of which the land is categorised as a natural area, and
- b) to maintain the land, or that feature or habitat, in its natural state and setting, and
- c) to provide for the restoration and regeneration of the land, and
- d) to provide for community use of and access to the land in such a manner as will minimise and mitigate any disturbance caused by human intrusion, and
- e) to assist in and facilitate the implementation of any provisions restricting the use and management of the land that are set out in a recovery plan or threat abatement plan prepared

under the Threatened Species Conservation Act 1995 or the Fisheries Management Act 1994.

The LG Act provides that tenures (leases, licences, or any other estates) or easements may be granted over all or part of community land.

Tenures may be held by:

- community organisations and sporting clubs, or
- by private/commercial organisations or
- individuals providing facilities and/or services for public use.

The maximum period for leases and licences on community land allowable under the LG Act is 30 years (with the consent of the Minister for a period over 21 years) for purposes consistent with the categorisation and core objectives of the particular area of community land.

Community land may only be leased or licensed for periods of more than 5 years if public notice is given according to the requirements of Sections 47 and 47A of the LG Act.

2.3 Mid-Western Regional Local Environmental Plan 2012

The land is zoned E3 Environmental Management pursuant to the LEP 2012. The trails are classified as an outdoor recreation facility which is a permissible land use within the zone.

The objectives of the E3 zone are:

- To protect, manage and restore areas with special ecological, scientific, cultural or aesthetic values.
- To provide for a limited range of development that does not have an adverse effect on those values.
- To manage development within the water supply catchment lands of Windamere and Burrendong Dams, to conserve and enhance the district's water resources.

The land is already being used for mountain biking and bushwalking and many trails have already been established. It is not proposed to clear any further land to establish more trails. Any works to the existing trails beyond their current footprint that may be required in the future will be subject to a Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979.

2.4 State Environmental Planning Policy (Infrastructure) 2007

Development for the purpose of an outdoor recreation facility is development permitted without consent on a public reserve under clause 65 of the SEPP if the work is carried out by or on behalf of Council. This, however, does not exempt Council from carrying out an environmental assessment under Part 5 of the Environmental Planning and Assessment Act 1979.

2.5 Biodiversity Conservation Act 2016

The Biodiversity Conservation Act 2016 (BC Act) establishes the legislative framework for the conservation of threatened species, populations and ecological communities of plants and animals in NSW. It also aims to improve the identification, conservation and recovery of threatened species and reduce the threats faced by those species.

Any maintenance of existing trails will need to ensure there is minimal additional disturbance to adjacent vegetation and known threatened species and communities. Awareness of threatened species locations is essential prior to any trail maintenance works.

3. Map of Site



FIGURE 2- MAP

4. Environment

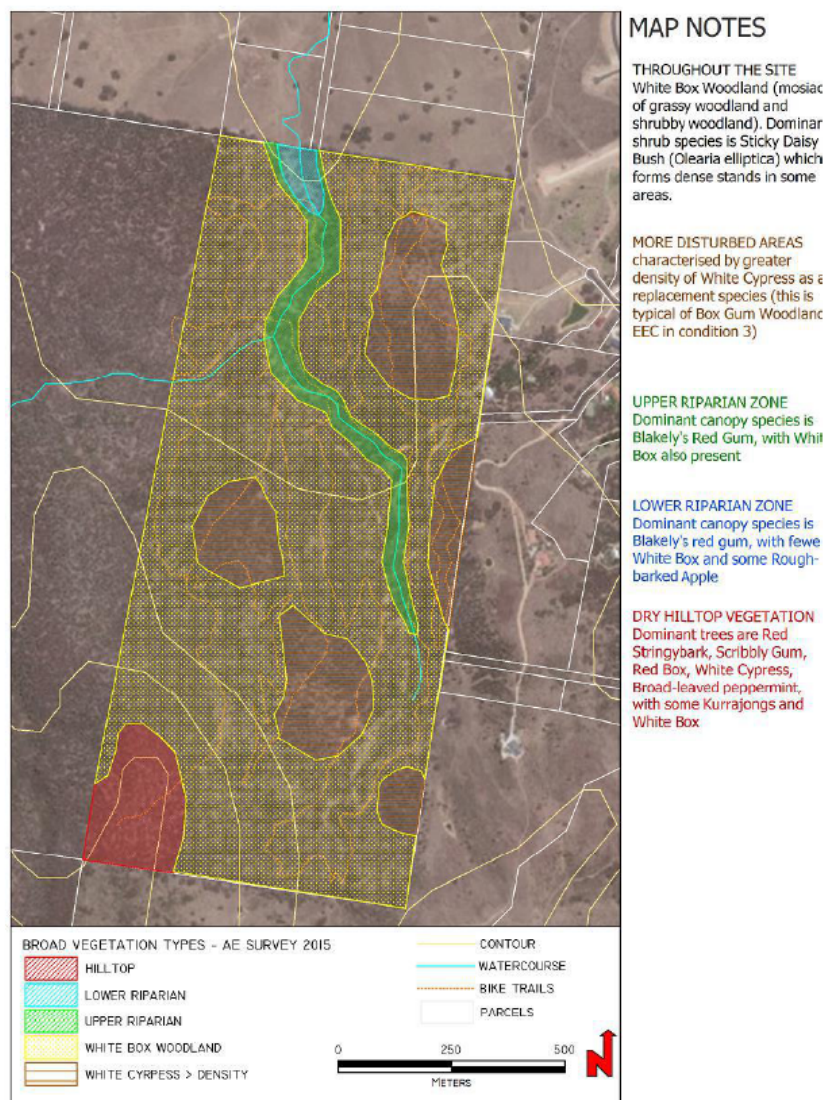
4.1 Surrounding Land Uses

The land to the west of the site is a National Parks owned Nature Reserve, the land to the north and east is used for residential purposes and the land to the south it privately owned land zoned E3 Environmental Management.

Fencing and/or signage will need to be placed on any track on the western side of the Reserve that may encroach into Avisford Nature Reserve. NPWS has placed signage on the fire trail at the north-western corner, and at other access points, highlighting to users that they are now entering Avisford Nature Reserve and stating the allowed activities within the reserve.

4.2 Vegetation surveys

Boundaries of vegetation communities were mapped by Applied Ecology in 2015 using a handheld GPS during traverses of the site. Most of the site had White Box Woodland present in a range of conditions.



4.3 Targeted Threatened Species surveys

Applied Ecology undertook targeted searches for threatened species in the area where these species were previously reported and a search 5m either side of existing trails. The Environmental Factor undertook another survey in 2020 with a search 10m either side of existing trails.

These results show that the use of the common for mountain bike riding and general community use is not negatively impacting the *swainsona* population.

Numbers of Swainsona spp plants recorded at the Common

SPECIES	AE 2015 SURVEY	EF 2020 SURVEY
<i>Swainsona recta</i>	1313	1750
<i>Swainsona sericea</i>	464	1054

Threatened species maps are attached as Appendix C.

Swainsona recta was recorded from a range of habitats, including under White Cypress Pine trees in comparatively sparse groundcover that comprised a mixture of grasses and herbs/forbs. More often, however, the species was recorded in open White Box Woodland with a grassy understorey.



Figure 4- *Swainsona recta* under White Cypress Pine

4.4 Flora

The site is extensively vegetated with mostly dry sclerophyll forest. The major vegetation community within the reserve was classified as White Box Cypress Pine community.

Flora surveys were conducted in September 2015 by Applied Ecology. A total of 94 species of native plants were recorded on site during the survey (Appendix A). This included 2 species of Swainsona listed under the then Biodiversity Conservation Act 2016. A further 13 species of introduced plants were recorded, of which 6 are listed as noxious weeds in Mid-Western Region.

4.5 Fauna

The reserve is home to a variety of fauna species, some of which are considered threatened species.

Bird surveys

A total of 56 species were reported, including 33 recorded by Applied Ecology and 45 recorded by surveyors from E-Bird (full list in Appendix B). The diversity of avian fauna reflects the size and quality of the reserve.

Other fauna surveys

A number of native and introduced mammals were recorded on site, and several reptiles were also recorded (Appendix B). The Red Fox and European Hare are introduced species that are resident in the site, while dogs are regular visitors with walkers.

4.6 Waterways

There is a third order drainage line running through the Common, which meets the Cudgegong River 3km to the north-east. No trail works except minor trail maintenance can be undertaken across this drainage line.

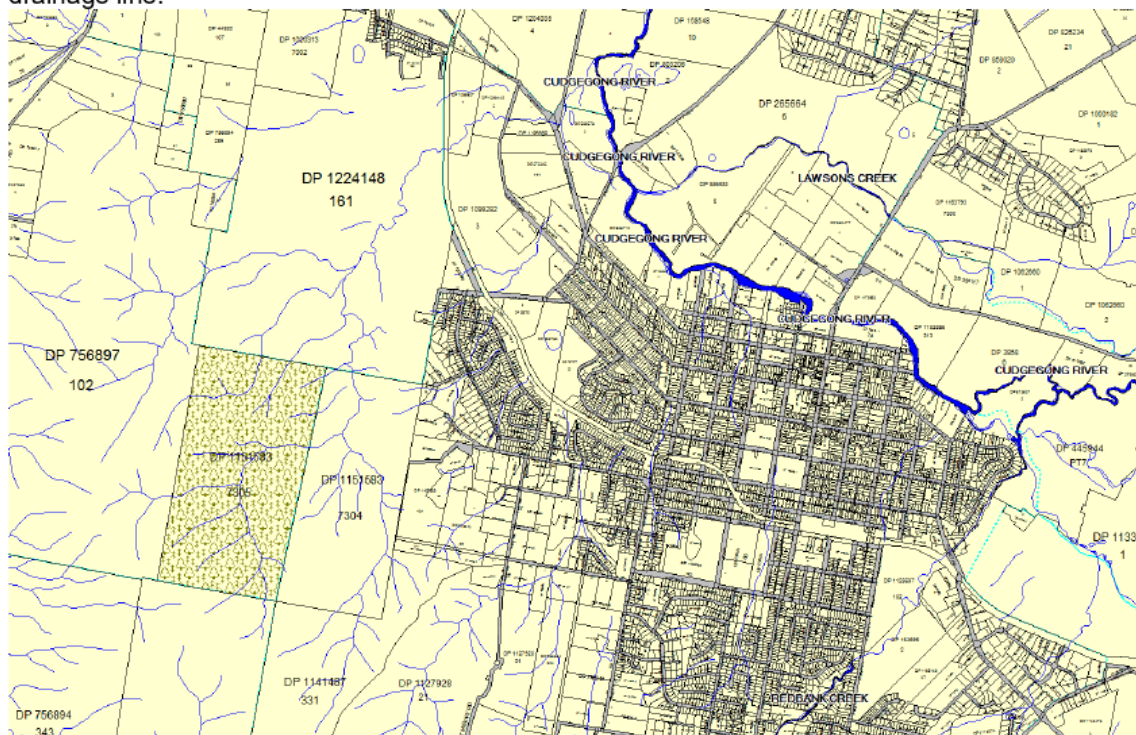


FIGURE 5- DRAINAGE

4.7 Aboriginal Heritage

The Avisford Nature Reserve and Mudgee Common lie within the traditional lands of the Wiradjuri people. The Plan of Management for the adjacent Avisford Nature Reserve mentions that a significant Aboriginal Camping Site exists somewhere near the western boundary of the Common.

The proposed use of the site for mountain bike riding and bushwalking will involve minimal ground disturbance of the site, with the exception of the upgraded car parking area which will be subject to erosion and sediment controls. It is therefore unlikely that the existing use of the site will have any adverse impacts on heritage items.

4.8 Natural Hazards

The site is bush fire prone and it is important that safe operational access and egress is available for emergency services and for people using the reserve. The NSW Rural Fire Service's document 'Planning for Bush fire Protection 2006' (PBP 2006) applies to all development on bush fire prone land. The NSW Rural Fire Service was consulted in the preparation of this document and no objections were raised.

The road into the Common is a public road maintained by Council. The road has a carriageway width of approximately 3.5m. An access driveway midway along the road provides opportunity for a passing bay. Maintenance of the access road to the entrance of the Common will need to be maintained to satisfy the requirements for PBP 2006.

5. Management of Reserve

5.1 Ownership of the reserve

The land is owned by the State of NSW and is subject to the provisions of the CLM Act. Reserve 120019 for the purpose of Public Recreation was notified in the Government Gazette on 23 January 1987. The Mudgee Recreation (R120019) Trust was established by Government Gazette on 14 December 1990 under s92(1) Crown Lands Act 1989 and The Council of the Shire of Mudgee was appointed to manage the affairs of the Trust on 14 December 1990. Following various legislative changes in the management of Crown land, and changes in the areas and names of local government authorities Mid-Western Regional Council is now Crown land manager of Reserve 120019 for the purposes of the CLM Act.

The land is subject to native title claim under the Commonwealth Native Title Act 1993 (NT Act) by Warrabinga-Wiradjuri People. On Crown land native title rights and interests must be considered unless:

- Native title has been extinguished; or
- Native title has been surrendered; or
- Determined by a court to no longer exist.

A tenure on Crown land may impact native title rights and interests. Any use agreement issued on Crown land must be issued in accordance with the future act provisions of the NT Act and in accordance with Part 8 of the CLM Act unless Native title is extinguished.

5.2 Objectives of the Plan

The objectives of this plan are as follows:

- To identify appropriate recreation uses within the Reserve;
- To set out the rules and obligations for users of the Reserve;
- To identify the obligations of Mid-Western Regional Council as the Crown land manager of the Reserve;
- To ensure the protection of the Reserve's environmental characteristics through the formalisation of bike tracks and the closure of unauthorised tracks;
- Protection of the threatened species identified.

5.3 Permissible Uses

One of the objectives of this plan of management is to set out the appropriate uses of the reserve and ensure that inappropriate uses do not occur. The following uses are permitted to a scale and intensity that will not significantly impact the *Swainsona plants* or any EEC within the reserve.

Recognised uses of the reserve:

- **Land Management and Conservation**
 - Land rehabilitation (including tree planting and riparian restoration)
 - Nature conservation and environmental protection (including threatened species)
 - Aboriginal and European heritage protection and conservation
 - Bushfire control
 - Weed control –include spraying of weeds in alignment with the Biosecurity Act and the Pesticide Notification Act
 - Feral animal control
 - Soil conservation

- Noise, water and air pollution control
- **Recreation**
 - Birdwatching
 - Walking and jogging on designated paths
 - Bicycle riding on designated paths
 - Horse riding on designated paths
 - On-lead dog walking
 - Picnicking
 - Photography
- **Tourism, Film Making, Education, Community Purposes and Services**
 - Filming
 - Emergency occupation
 - Guided tours
 - Outdoor class sessions for school groups
 - Environmental themed courses, classes and training days
 - Commemorative events
- **Infrastructure**
 - Walking and bike tracks
 - Bollards to mark and guard environmentally sensitive heritage and environmental items/values
 - Signage
 - Car park
- **Additional Land Uses/Activities**
 - Other activities or land uses approved by council, subject to their compatibility with this PoM.

5.4 Undesirable Uses

The following activities will not be permitted:

- Cattle and sheep grazing
- Motorcycle, quad bike and 4WD driving
- Unauthorised vehicle movements off designated tracks
- Hunting for consumption or recreational purposes using any form of hunting method
- Lighting of fires
- Harvesting of firewood
- Destruction of fauna habitat without appropriate assessment and impact mitigation measures
- Vegetation removal without appropriate assessment and impact mitigation measures
- Introducing exotic pest plants or animals of any kind
- Unauthorised herbicide usage – Any spraying works require prior permission from Council and be undertaken by qualified person(s). Work needs to be undertaken in conjunction with Councils Pesticide Notification Act and environmental legislation. Qualifications, spray records and any relevant paperwork can be requested by Council at any time.
- Quarrying or mining
- Cropping
- Exotic plantations or gardens
- Unauthorised functions, events or parties
- Unauthorised track upgrades and/or extensions
- Construction of new tracks

5.5 Rules and obligations of Users

Signage is provided at the entrance to the reserve and around the designated cycle track that sets out the rules. The rules are as follows:

- Cyclists give way to bush walkers;
- Cyclists and walkers are only to use the designated cycle tracks as depicted in this plan;
- Cyclists and walkers are not to impact the *Swainsona* plants.

Riders of the track network do so at their own risk, Council takes no responsibility for the safety of riders.

5.6 Operational Management

Council manages the Mudgee Common as required under the CLM Act and the LG Act. Council is responsible in regard to the use of the Reserve and to environmental management such as threatened species conservation (with DPIE), bushfire hazard reduction (with the RFS), weed and pest management, and maintenance of the access to the site.

Ongoing maintenance of the trails will not be carried out by Mid-Western Regional Council. Maintenance of trails will be subject to a licence to occupy agreement between Council and the Mudgee Region MTB Inc (Mountain Bike Club), which endorses the club's ability to use the reserve and requires the club to assist Council in the reserves management in particular track maintenance.

The Mountain Bike Club will be responsible for repair to damaged tracks or infrastructure within the Common after an event and for the removal of rubbish generated by any club organised event.

For the day-to-day use of the reserve, liability will come under council's parks and reserves public liability insurance. For organised events, the event holder will need to provide council with a copy of their public liability insurance.

5.7 Track Management

This plan outlines formalisation of existing tracks and redundant tracks to be rehabilitated, see Appendix D. No new tracks are to be constructed.

Formalising the trail network throughout the site will ensure that environmental damage is minimised. This should achieve the balance of preserving and protecting the environmentally sensitive features of the site whilst also ensuring the public can enjoy using the land.

General maintenance of the existing track network is to be undertaken by the Mountain Bike Club under the following conditions (also outlined in the MOU):

- The Bike Club must advise Council prior to any maintenance works being undertaken
- Maintenance works is to be limited to the existing trail footprint of formalised named tracks
- Where tracks intersect through threatened species populations the track cannot exceed 50cm or the current footprint if the existing footprint is already >50cm.
- Maintenance is undertaken with hand tools and equipment only (no machinery unless approved by Council)
- The Bike Club must have current liability insurance and provide a copy to Council
- At the beginning of each track maintenance day each participant must be present to a toolbox talk regarding the environmentally sensitive nature of the reserve and the restrictions around the size of tracks
- All participants at maintenance days must be a current member of the Bike Club
- At least one participant at every maintenance day must have attended a *Swainsona* identification session

- On ground maintenance works on tracks intersecting *Swainsona* populations can only occur during months in which the *Swainsona* plants are dormant (January-June)
- No trees greater than 100mm DBH will be permitted to be removed for trail maintenance without written permission from Council
- Groundcover disturbance must be kept to a minimum during any maintenance

Any proposed upgrade works to existing tracks which are beyond general maintenance (this includes proposals to widen tracks, install jumps or other trail features, realign tracks, remove vegetation etc.) must meet the following conditions:

- No impact on threatened species populations
- Provide Council with a detailed plan of works in writing and justification of works
- Must be suitable for pedestrians
- If any contractors will be engaged they must undertake Councils WHS induction and a specific on-site induction and provide Council with copies of relevant insurances
- Details of any machinery / plant necessary must be provided to Council. Plant greater than a bobcat size is prohibited.
- Track work will be done to meet the standards set by the International Mountain Bicycling Association (IMBA) and Mountain Bike Australia (MTBA).
- A Review of Environmental Factors will be required for any new proposed track upgrades

Council reserves the right to refuse proposals for track upgrades if the upgrades do not align with environmental conservation objectives.

All existing tracks except for the “smuggler black diamond” track must be dual pedestrian / bike tracks. Bike riders must give way to pedestrians.

The “smuggler black diamond” track is for advanced bike riders only, no pedestrian access. Users of this track must comply with experience and PPE requirements outlined on the signage at the start of the track. Riders must only enter the track from the designated start point. Riders use this track at their own risk.

5.8 Car Parking and Access

Access to the site is via Common Road, which intersects with Bellevue Rd approximately 250m from the entry gate. Common Road is sealed for the first 50m and unsealed for the remaining 200m to the front gate.

The current parking arrangement is informal with few cars able to be parked at a time. Currently some of the users of the trails are local mountain bike riders who ride from home to the Common, however a lot of users do drive to the entrance and park their cars on the road in front of the main gate. This has not caused any known problems previously; however it may make it difficult for a vehicle to execute a U-turn and visitation numbers are increasing.

Council has proposed for the area immediately within the gate be formalised for the parking of up to 10 vehicles. This will require the gate to be moved back a sufficient distance to accommodate the additional parking area. These works may be undertaken by Council or a contractor on behalf of Council when funding becomes available.

5.9 Events

Club Events

The Mountain Bike Club hold club events throughout the year for members such as social rides and training days. Parking during these smaller club events would generally generate no more than 12 vehicles, with many of the local riders choosing to ride their bikes from home.

All attendees of these events must be current members of the Mountain Bike Club.

The Common must remain open to other members of the public during these times and riders are still obliged to give way to pedestrians.

There is no obligation for the Mountain Bike Club to inform Council of these events.

Major events

The Mountain Bike Club have indicated that they would like to attract large cycling events to the area in the future. No more than 2 major events (that being any competition or organised event greater than 30 riders) are permitted to occur each year.

The current parking arrangement is not satisfactory to cater for the number of cars these events are likely to produce. Parking arrangement during major events has the potential to have an impact on the adjoining residents. A Traffic Management Plan will need to be prepared at full cost to the proponent of the event and will be the subject of assessment by Council staff to ensure that parking arrangements have minimal impacts on surrounding properties. Additional parking can be accommodated along the side of Bellevue Road all the way up to the end of the cul-de-sac as well as the overflow parking on the corner of Bellevue Road and Common Road.

Council and all local emergency services agencies must be notified of any major event at least 6 weeks prior to the event taking place. An event specific emergency management plan must be provided with this notification.

The Mountain Bike Club are to provide Council with the intended tracks that will be used for the event. The Common will be closed to the public during these events and signage must be placed at the entrance of the Common advising the public of the closure at least 6 weeks prior to the event.

5.10 Signage

There is currently a sign at the front gate prohibiting motorbikes from using the site, as well as prohibiting the use of the site for hunting and trapping. There is no evidence to suggest that the site has been used for hunting or trapping, however the riding of motorbikes has been previously noted on the site.

A large sign has been installed near the entrance with a map of the trail and ride direction as well as rules of the trails. Colour coded trail markers with grades and trails names are placed at strategic points to help guide users along the trail network. Additional signage may be placed along Common Road to direct users to the Common entrance and ensure that users do not end up trespassing on private land or leaving designated tracks.

Interpretative signage has been placed at the front gate with information about the *Swainsona* species, their importance, how to identify them, and a warning to not disturb them.

Additional permanent signage is permitted at the discretion of Council. Proposed permanent signs by the Mountain Bike Club must be approved by Council.

5.11 Leases, Licences and other Estates

In accordance with Section 46A of the LG Act, a Plan of Management for community land is to specify and authorise any purpose for which a lease, licence or other estate may be granted over community land during the life of a POM.

This POM authorises a tenure to be issued:

- for any permissible use in Section 5.3.
- for purposes consistent with the Reserve's:
 - categorisation (see Section 2.2), and
 - zoning (see Section 2.3) under Section 46 of the LG Act, and
 - reserve purpose of Public Recreation as required under the CLM Act

However, the CLM Act allows that Council may also issue short term licences (for a period of less than one year) consistent with Section 2.20 of the CLM Act. This section provides that licences may be issued, inconsistent with the reservation purpose, for prescribed purposes currently being¹:

- | | |
|---|---|
| (a) access through a reserve | (m) grazing |
| (b) advertising | (n) hiring of equipment |
| (c) camping using a tent, caravan or otherwise | (o) holiday accommodation |
| (d) catering | (p) markets |
| (e) community, training or education | (q) meetings |
| (f) emergency occupation | (r) military exercises |
| (g) entertainment | (s) mooring of boats to wharves or other structures |
| (h) environmental protection conservation or restoration or environmental studies | (t) sales |
| (i) equestrian events | (u) shows |
| (j) exhibitions | (v) site investigations |
| (k) filming (as defined in the Local Government Act 1993) | (w) sporting and organised recreational activities |
| (l) functions | (x) stabling of horses |
| | (y) storage. |

This Plan of Management expressly authorises² the following tenures:

- (a) A licence to Mudgee Region MTB Inc for mountain bike events and track management.

A tenure or hire agreement on Crown land may impact native title rights and interests. Apart from the tenure/hire agreements expressly authorised above, which are valid acts under Section 24JA of the NT Act, any use agreement issued on Crown land must be issued in accordance with the future act provisions of the NT Act and in accordance with Part 8 of the CLM 2016 unless native title is extinguished. For Crown land which is not excluded land this will require written advice from one of Council's native title managers that it complies with any applicable provisions of the native title legislation.

¹ Crown Land Management Regulation Section 31.

² Express Authorisation in Section 46 (1)(b) of the LG Act permits tenures to be granted in accordance with and subject to such provisions of a Plan of Management.

5.12 Management of Threatened Species and Communities

Through the formalisation of the Common track network it is anticipated that ongoing disturbance to the threatened species and communities will be reduced, this is because currently the network is unclear and sporadic consequently the reserve users often venture off of the trails which disturbs the vegetation.

5.12.1 *Swainsona* species

Swainsona recta is listed as Endangered under the BC Act and listed as Endangered under the national Environment Protection and Biodiversity Conservation (EPBC) Act 1999. *Swainsona sericea* is listed as Vulnerable under the BC Act and is not listed under the EPBC Act.

According to the NSW Department of Planning, Industry and Environment National Recovery Plan for Small Purple-pea (*Swainsona recta*), the future recovery actions for this species relevant to this site include:

- Undertake surveys in vicinity of recorded sites
- Monitor all known sites
- Weed control
- Negotiate improved management and/or formal protection of sites
- Investigate potential sites suitable for enrichment planting or re-establishment of Small Purple-pea populations and undertake translocation projects
- Increase community awareness and involvement in the Small Purple-pea recovery effort

The Department of Planning, Industry and Environment will monitor the population within the reserve and is the administering body for the BC Act which determines penalties for harming threatened species.

Throughout the process of surveying and recording the *Swainsona* plants and the ongoing consultation between the Mountain Bike Club and Council there has been a substantial increase in the concern and interest in the protection of the plants by members of the club, neighbours and other members of the community. These community members have since been undertaking additional citizen science to identify the *Swainsona* plants in other areas of the reserve and neighbouring lands. Through the formalisation of tracks, additional consultation and installation of the interpretative signage more community members will be engaged in the involvement of the recovery effort.

Furthermore by Council formally adopting the Management Plan and acknowledging the trail network it commits to the protection and monitoring of the *Swainsona* plants.

Note that the numbers of the threatened *Swainsona* plants recorded in the 2020 Environmental Factor survey was 2804. However this is based on a survey of a 10m buffer along existing trails and previously recorded populations, therefore the total number of individuals across the entire reserve is expected to be higher. Likewise the Common adjoins Avisford Nature Reserve which has not been surveyed for these species, it is predicted that additional individuals would occur within the National Park.

Specific management actions for this site are:

- Limit on ground maintenance works to months in which the *Swainsona* plants are dormant (January-June)
- Barricade areas of the higher densities of threatened *Swainsona* plants
- Installation of interpretative signage for the threatened species
- In areas with known threatened *Swainsona* plants present trails will be limited 50cm in width or the current footprint
- Ongoing control of weeds by Mid-Western Regional Council is recommended to be undertaken in the months in which the *Swainsona* plants are dormant

5.12.2 Ecological Community

Parts of the Mudgee Common site is consistent with White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grassland Critically Endangered Ecological Community (EEC). This Community is listed as a Critically Endangered Ecological Community under the Environment Protection and Biodiversity Conservation Act 1999 and is listed as Endangered Ecological Community under the BC Act.

Specific management actions for this site are:

- No trucks or heavy plant equipment larger than a bobcat will be permitted within reserve to undertake approved track upgrades.
- No machinery will be permitted for any maintenance works
- No trees greater than 100mm DBH will be permitted to be removed for trail maintenance without Council approval
- Groundcover disturbance will be kept to a minimum during any maintenance or construction activities
- A Review of Environmental Factors will be required for any new proposed track upgrades (beyond the current footprint)

5.13 General management

Weeds

Council's Weeds Department will conduct weed inspections and carry out weed control when necessary and when resources are available. Ongoing environmental management will be dependent on funding becoming available through Council's Delivery Program and Operational Plan and/or external grant funding.

Control of weeds by is recommended to be undertaken in the months in which the *Swainsona* plants are dormant (January-June).

Fencing

When funding becomes available Council will undertake a review of the boundary fence condition and replace or repair the fence where necessary.

5.14 Future Works

Council will prepare a plan to incorporate new infrastructure on the reserve including:

- a lookout
- picnic table/s
- a viewing platform
- upgrading and extension of the carpark

Prior to any public work being approved the requirements of the NT Act, and in particular to the notification and opportunity to comment requirements under Section 24JB or Section KA, will be addressed.

Any works or maintenance proposed by organisations such as the Mountain Bike Club will need to be approved by Council. A Review of Environmental Factors (REF) must be completed prior to any construction or upgrade activities; this is a requirement under part 5 of the *Environmental Planning and Assessment Act 1979*. Within the REF factors such as impacts to flora and fauna, erosion, noise, waste production and the cumulative impacts must all be addressed and mitigation measures outlined.

5.15 Performance Targets

OBJECTIVE	STRATEGY	PERFORMANCE INDICATOR
<ul style="list-style-type: none"> To identify appropriate recreation uses within the Reserve; To set out the rules and obligations for users of the Reserve 	<ul style="list-style-type: none"> Uses of the Common are restricted to those listed in section 5.3 of this PoM Signage displaying appropriate use of the land is installed. Any MOU of other form of estate restricts usage of the Common to those listed in section 5.3. Undertake site inspections consistent with Council's asset management policy Development of a Traffic Management Plan Construction of formalised carpark 	<ul style="list-style-type: none"> Community feedback indicates high level of satisfaction regarding recreational and other community activities, facilities and settings on GCU land Local community participate in joint programs of protection, care and maintenance of key assets/ reserves (eg community halls) Traffic and parking does not impact on the amenity of the reserve New Car park constructed
<ul style="list-style-type: none"> To identify the obligations of Mid-Western Regional Council as the Crown land manager of the Reserve; 	<ul style="list-style-type: none"> MOU between Council and the Mudgee Bike Club to clearly delineate the responsibilities of Parties in relation to the use of the common New signage preventing unauthorised access Undertake site inspections consistent with Council's tenure management policy 	<ul style="list-style-type: none"> MOU or tenure in place Community feedback indicates high level of satisfaction regarding recreational and other community activities, facilities and settings
<ul style="list-style-type: none"> Ensure the protection of the Reserve's environmental characteristics through the formalisation of bike tracks and the closure of unauthorised tracks Protection of the threatened species identified Ensure the ongoing ecological viability of the land by protecting the ecological biodiversity and habitat values of the land, the flora and fauna (including invertebrates, fungi and micro-organisms) of the land and other ecological values of the land, and Protect the aesthetic, heritage, recreational, educational and scientific values of the land Promote the management of the land in a manner that protects and enhances the values and quality of the land and facilitates public enjoyment of the land, and to implement measures directed to minimising or mitigating any disturbance caused by human intrusion Restore degraded bushland Protect existing landforms such as natural drainage lines, watercourses and foreshores Retain bushland in parcels of a size and configuration that will enable the existing plant and animal communities to survive in the long term Protect bushland as a natural stabiliser of the soil surface 	<ul style="list-style-type: none"> Formalisation of the trail network within the Common Removal of any illegal structures on the land Maintenance and development of existing trails to be minimise additional disturbance to adjacent vegetation and known threatened species and communities Fencing and/or signage need to be placed on any track on the western side of the Reserve that may encroach into Avisford Nature Reserve Limit on ground works (maintenance or capital) to months in which the Swainsona plants are dormant (January-June) Barricade areas of the higher densities of threatened Swainsona plants Installation of interpretative signage for the threatened species Weed Control to be undertaken in months where <i>Swainsona</i> plants are dormant No trucks or heavy plant equipment larger than a bobcat will be permitted within reserve to undertake trail maintenance/ construction No trees greater than 100mm DBH will be permitted to be removed for trail maintenance/ construction Groundcover disturbance will be kept to a minimum during any maintenance or construction activities A Review of Environmental Factors will be required for any works beyond current footprint Undertake recommended activities for the protection of <i>Swainsona recta</i> and <i>sericea</i> 	<ul style="list-style-type: none"> A trail network plan is in place and approved by Council Appropriate directional and restrictive signage in place Communities of the <i>Swainsona</i> plants and high-quality EECs are maintained and enhanced within the Common. DPIE does not issue infringement notices in relation to the <i>Biodiversity Conservation Act 2016</i> requirements

References

Applied Ecology Pty Ltd. (2015). Ecological Assessment of the Common Reserve Mudgee.

Department of Environment, Climate Change and Water NSW. 2010. National Recovery Plan for White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland. Department of Environment, Climate Change and Water NSW, Sydney.

NSW Office of Environment and Heritage (2012). National Recovery Plan for Small Purple-pea (*Swainsona recta*). Hurstville, NSW.

World Trail Pty Ltd. (2013). Mudgee Common Mountain Bike Trail Concept Plan.

Appendix A- Flora species list

SPECIES NAME	COMMON NAME	HABIT
<i>Acacia dealbata</i>	Silver Wattle	tall shrub
<i>Acacia decora</i>	Western Golden Wattle	shrub
<i>Acacia penninervis</i>	Hickory Wattle	tall shrub
<i>Acacia spectabilis</i>	Mudgee Wattle	shrub
<i>Acacia ulicifolia</i>	Prickly Moses	small shrub
<i>Acacia verniciflua</i>	Vamish Wattle	shrub
<i>Acacia vestita</i>		small shrub
<i>Acaena ovata</i>	Sheep's Burr	herb
<i>Actinotus helianthi</i>	Flannel flower	herb
<i>Ajuga australis</i>	Austral Bugle	herb
<i>Allocasuarina gymnanthera</i>		tree
<i>Angophora floribunda</i>	Rough-barked Apple	tree
<i>Aristida ramosa</i>	Wire Grass	grass
<i>Austrostipa scabra</i>	Rough Speargrass	grass
<i>Boronia angustisepala</i>	Narrow-leaved Boronia	small shrub
<i>Bossiaea obcordata</i>	Spiny Bossiaea	small shrub
<i>Bothriochloa macra</i>	Redleg Grass	grass
<i>Brachychiton populneus</i>	Kurrajong	tree
<i>Brachyscome angustifolia</i>	Cut-leaf Daisy	herb
<i>Bulbine bulbosa</i>	Leek Orchid	herb
<i>Bursaria spinosa</i>	Blackthorn	tall shrub
<i>Callitris glaucophylla</i>	White Cypress	tree
<i>Calocephalus lacteus</i>		herb
<i>Calotis cuneifolia</i>	Blue Burr Daisy	herb
<i>Carex appressa</i>	Tall Sedge	graminoid
<i>Cassinia aculeata</i>	Common Dogwood	shrub
<i>Cassinia quinquefaria</i>		shrub
<i>Centipeda cunninghamii</i>	Common Sneezeweed	herb
<i>Chielanthes sieberi</i>	Poison Rock Fern	fem
<i>Chrysocephalum apiculatum/semipapposum complex</i>	Yellow Buttons	herb
<i>Craspedia variabilis</i>	Common Billy Buttons	herb
<i>Cyanicula caerulea</i>	Blue Fairy, Blue Caladenia	herb
<i>Cymbonotus lawsonianus</i>	Bears Ears	herb
<i>Cymbopogon refractus</i>	Barbed Wire Grass	grass
<i>Daucus glochidiatus</i>	Native Carrot	herb
<i>Dichanthium sericeum</i>	Queensland Blue Grass	grass
<i>Dichondra repens</i>	Kidney Weed	herb
<i>Digitaria diffusa</i>	Umbrella Grass	grass
<i>Dillwynia phyllicoides</i>	Variable Parrot Pea	small shrub
<i>Diuris lineata?</i>	Donkey orchid	herb
<i>Dodonaea viscosa</i>	Hopbush	shrub
<i>Drosera peltata</i>	Pale Sundew	herb
<i>Einadia polygonoides</i>	Fish Bones	herb
<i>Eragrostis brownii</i>	Brown's Lovegrass	grass
<i>Erodium crinitum</i>	Blue Storksbill	herb
<i>Eucalyptus albens</i>	White Box	tree
<i>Eucalyptus blakelyi</i>	Blakely's Red Gum	tree
<i>Eucalyptus macrorhyncha</i>	Red Stringybark	tree
<i>Eucalyptus polyanthemus</i>	Red Box	tree
<i>Eucalyptus rossii</i>	Scribbly Gum	tree
<i>Exocarpus cupressiformis</i>	Cherry Ballart	tree
<i>Geranium solanderi</i>	Australian Cranesbill	herb
<i>Glycine clandestina</i>	Lesser Love Creeper	vine
<i>Goodenia hederacea</i>	Forest Goodenia	herb
<i>Hardenbergia violacea</i>	False Sarsparilla	vine
<i>Hibbertia diffusa</i>	Wedge Guinea Flower	herb
<i>Hibbertia linearis</i>	Narrow-leaved Guinea Flower	small shrub
<i>Hydrocotyle laxiflora</i>	Stinking Pennywort	herb
<i>Hypericum gramineum</i>	Lesser St Johns Wort	herb

SPECIES NAME	COMMON NAME	HABIT
<i>Linum marginale</i>	Native Flax	herb
<i>Lissanthe strigosa</i>	Peach Heath	small shrub
<i>Lomandra bracteata</i>	Tufted Matrush	graminoid
<i>Lomandra confertifolia ssp pallida</i>	Matrush	graminoid
<i>Lomandra longifolia</i>	Spiny Matrush	graminoid
<i>Lomandra multiflora</i>	Many-flowered Matrush	graminoid
<i>Lythrum hyssopifolia</i>	Hyssop Loosestrife	herb
<i>Microlaena stipoides</i>	Weeping Meadow Grass	grass
<i>Myoporum montanum</i>	Western Boobialla	tall shrub
<i>Olearia elliptica</i>	Sticky Daisy Bush	shrub
<i>Oxalis perennans</i>	Soursob	herb
<i>Ozothamnus diosmifolius</i>	Pill Flower, White Dogwood	shrub
<i>Panicum effusum</i>	Hairy Panic	grass
<i>Petalochilus cameus</i>	Pink Fingers	herb
<i>Petalochilus catenatus</i>	White Fingers	herb
<i>Plantago gaudichaudii</i>	Narrow Plantain	herb
<i>Poa sieberiana</i>	Snow Grass	grass
<i>Podolepis neglecta</i>	Copper Wire Daisy	herb
<i>Pterostylis parviflora?</i>	Greenhood Orchid	herb
<i>Ranunculus lappaceus</i>	Common Buttercup	herb
<i>Rytidosperma caespitosum</i>	Wallaby Grass	grass
<i>Senecio diaschides</i>	Groundsel Bush	small shrub
<i>Sigesbeckia australiensis</i>	Indian Weed	herb
<i>Solanum prinophyllum</i>	Forest Nightshade	herb
<i>Solenogyne bellioides</i>		herb
<i>Stackhousia monogyna</i>	Creamy Candles	herb
<i>Swainsona galegifolia</i>	Smooth Darling Pea	herb
<i>Swainsona recta</i>	Small Purple Pea	herb
<i>Swainsona sericea</i>	Silky Swainson-Pea	herb
<i>Thysanotus tuberosus</i>	Fringe Lily	herb
<i>Urtica incisa</i>	Stinging Nettle	herb
<i>Wahlenbergia communis</i>	Tufted Bluebell	herb
<i>Wurmbea dioica ssp dioica</i>	Early Nancy	herb
<i>Xanthorrhoea johnsonii</i>	Johnson's Grass Tree	shrub
<i>Xerochrysum bracteatum</i>	Golden Everlasting	herb

Introduced flora species recorded at the Common, Mudgee during recent surveys

SPECIES NAME	COMMON NAME	NOXIOUS
<i>Arctotheca calendula</i>	Cape Daisy	
<i>Cineraria lyratiformis</i>	Cineraria	Y
<i>Conyza bonariensis</i>	Fleabane	
<i>Dactylus glomeratus</i>	Cocksfoot	
<i>Echium plantagineum</i>	Patersons Curse	
<i>Ehrharta erecta</i>	Panic Veldt Grass	
<i>Fumaria bastardi</i>	Bastards Fumitory	
<i>Hypericum perforatum</i>	St Johns Wort	Y
<i>Nassella trichotoma</i>	Serrated Tussock	Y
<i>Opuntia stricta</i>	Prickly Pear	Y
<i>Rubus fruticosus</i> aggregate species	Blackberry	Y
<i>Senecio madagascariensis</i>	Fireweed	Y
<i>Sonchus oleraceus</i>	Milk Thistle	

Appendix B- Fauna species list

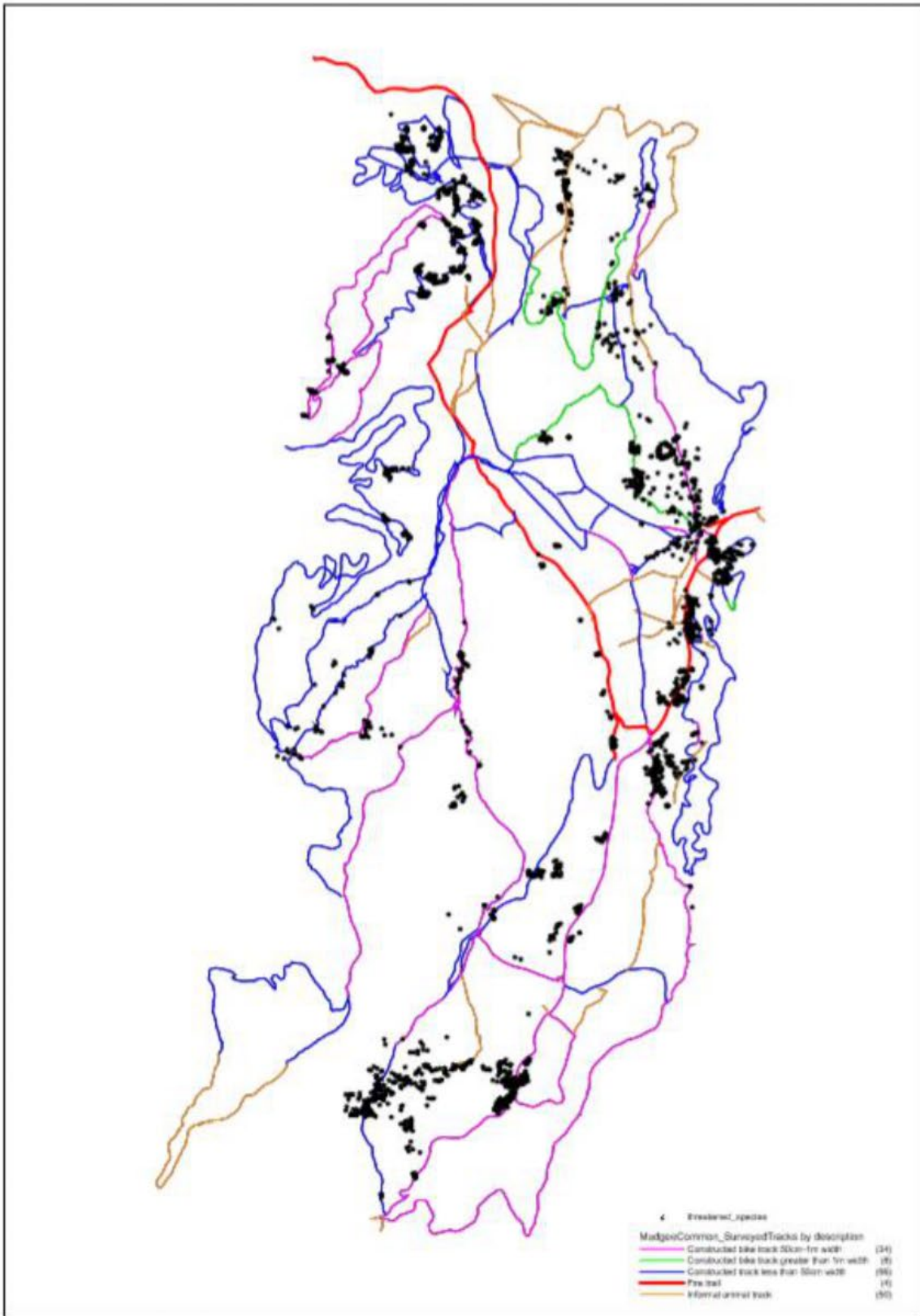
Results of bird surveys in The Common reserve between September 2014 and September 2015

COMMON NAME	SPECIES NAME
Australian King Parrot	<i>Alisterus scapularis</i>
Australian Magpie	<i>Cracticus tibicen</i>
Australian Raven	<i>Corvus coronoides</i>
Black-faced Cuckoo-shrike	<i>Coracina novaehollandiae</i>
Brown Falcon	<i>Falco berigora</i>
Brown Thornbill	<i>Acanthiza pusilla</i>
Brown Treecreeper *	<i>Climacteris picumnus</i>
Brown-headed Honeyeater	<i>Melithreptus brevirostris</i>
Buff-rumped Thornbill	<i>Acanthiza reguloides</i>
Common Bronzewing	<i>Phaps chalcoptera</i>
Common Starling	<i>Sturnus vulgaris</i>
Crested Pigeon	<i>Ocyphaps lophotes</i>
Crimson Rosella	<i>Platycercus elegans</i>
Double-barred Finch	<i>Taeniopygia bichenovii</i>
Eastern Rosella	<i>Platycercus eximius</i>
Eastern Spinebill	<i>Acanthorhynchus tenuirostris</i>
Eastern Yellow Robin	<i>Eopsaltria australis</i>
Galah	<i>Eolophus roseicapilla</i>
Golden Whistler	<i>Pachycephala pectoralis</i>
Grey Butcherbird	<i>Cracticus torquatus</i>
Grey Fantail	<i>Rhipidura fuliginosa</i>
Grey Shrikethrush	<i>Colluricincla hamonica</i>
Laughing Kookaburra	<i>Dacelo novaeguineae</i>
Lewins Honeyeater	<i>Meliphaga lewinii</i>
Magpie Lark	<i>Grallina cyanoleuca</i>
Musk Lorikeet	<i>Glossopsitta concinna</i>
Noisy Friarbird	<i>Philemon comiculatus</i>
Noisy Miner	<i>Manorina melanocephala</i>
Pacific Koel	<i>Eudynamys orientalis</i>
Pied Butcherbird	<i>Cracticus nigrogularis</i>
Pied Currawong	<i>Strepera graculina</i>
Red Wattlebird	<i>Anthochaera carunculata</i>
Red-browed Finch	<i>Neochmia temporalis</i>
Rufous Flycatcher	<i>Rhipidura rufifrons</i>
Rufous Whistler	<i>Pachycephala rufiventris</i>
Shining Bronze-cuckoo	<i>Chrysococcyx lucidus</i>
Silvereye	<i>Zosterops lateralis</i>
Speckled Warbler	<i>Pyrrholaemus sagittatus</i>
Spotted Pardalote	<i>Pardalotus punctatus</i>
Striated Pardalote	<i>Pardalotus striatus</i>
Striated Thornbill	<i>Acanthiza lineata</i>
Sulphur-crested Cockatoo	<i>Cacatua galerita</i>
Superb Fairy Wren	<i>Malurus cyaneus</i>
Wedge-tailed Eagle	<i>Aquila audax</i>
Weebill	<i>Smicronis brevirostris</i>
Welcome Swallow	<i>Hirundo neoxena</i>
White-browed Scrubwren	<i>Sericornis frontalis</i>
White-cheeked Honeyeater	<i>Phylidonyris niger</i>
White-eared Honeyeater	<i>Nesoptilotis leucotis</i>
White-naped Honeyeater	<i>Melithreptus lunatus</i>
White-throated Treecreeper	<i>Cormobates leucophaea</i>
White-winged Chough	<i>Corcorax melanorhamphos</i>
Willy Wagtail	<i>Rhipidura leucophrys</i>
Yellow Thornbill	<i>Acanthiza nana</i>
Yellow-faced Honeyeater	<i>Lichenostomus chrysops</i>
Yellow-rumped Thornbill	<i>Acanthiza chrysorrhoa</i>

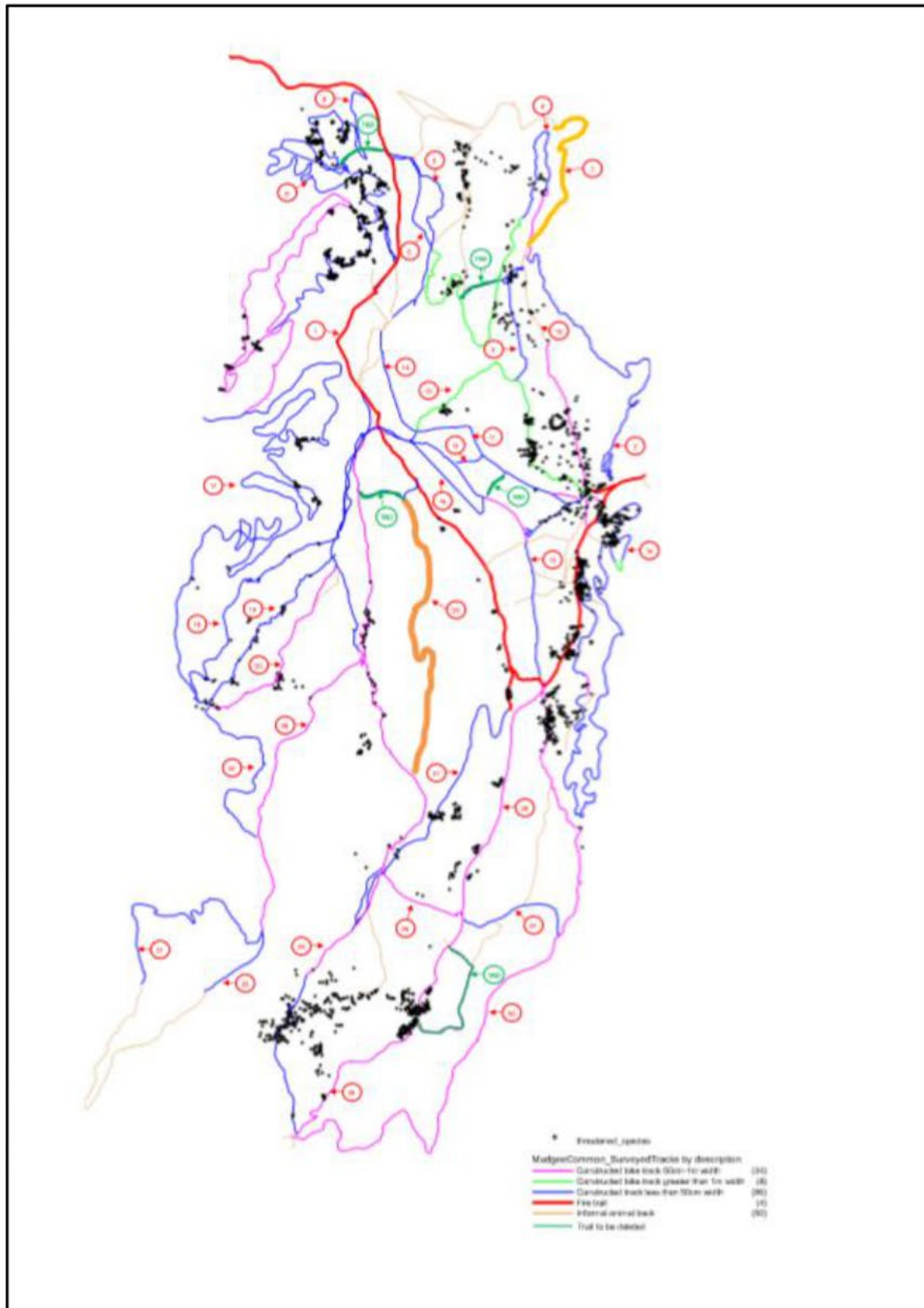
Mammals and reptiles recorded during recent surveys at Mudgee Common, September 2015

COMMON NAME	SPECIES NAME
MAMMALS	
Domestic Dog	<i>Canis lupus familiaris</i>
Eastern Grey Kangaroo	<i>Macropus giganteus</i>
Euro	<i>Macropus robustus erubescens</i>
European Brown Hare	<i>Lepus europaeus</i>
Red Fox	<i>Vulpes vulpes</i>
Short-beaked Echidna	<i>Tachyglossus aculeatus</i>
Swamp Wallaby	<i>Wallabia bicolor</i>
REPTILES	
Delicate Skink	<i>Lampropholis delicata</i>
Eastern Water Skink	<i>Eulamprus quoyii</i>
Lace Monitor	<i>Varanus varius</i>
Nobbi Dragon	<i>Diporiphora nobbi</i>
Pale-flecked Garden Sunskink	<i>Lampropholis guichenoti</i>

Appendix C- Threatened Species Mapping



Appendix D- Track Management Plan



Track Maintenance Plan

Track number	Track name	Length	Difficulty rating	Average width	Track signed	Overall condition	Features	Issues	Maintenance required	Priority
1	Fire trail	1.8	Green	4.000	No	Excellent	Fire road	Nil	Nil	Low
2	Elevator	.602	Green	1.000	Yes	Average	Professionally built, small jumps and berms	Long grass and saplings overhanging trail	Sides of trail to be brush cutting.	High
3	Rustys return	.432	Green	1.000	Yes	Average	Hand built	Long grass and saplings overhanging trail	Sides of trail to be brush cutting. Some drainage issues	Low
4	Budgie smuggler	0.660	Double black	2.000	No	Good	Professionally built. large jumps, large gaps and berms	Erosion on unfinished section of the trail	Complete the build of the trail	High
5	Slinky	.458	Blue	0.600	No	Average	Hand built . Flowing flat camber decent	Long grass and saplings overhanging trail	Sides of trail to be brush cutting. Some drainage issues	Low
6	The bolder	.120	Blue	0.600	No	Average	Hand built rocky parallel creek run	Long grass and saplings overhanging trail	Sides of trail to be brush cutting. Some drainage issues	Low
7	Blink	.302	Blue	0.600	Yes	Average	Professionally built part, small jumps and berms	Long grass and saplings overhanging trail	Sides of trail to be brush cutting. Some drainage issues	Low
8	Yeah gnar	1.100	Blue	1.000	Yes	Average	Hand built, small jumps and berms, log rolls and small drops	Long grass and saplings overhanging trail	Sides of trail to be brush cutting. Some drainage issues	Low
9	Barking mad	1.300	Blue	1.000	Yes	Average	Professionally built, small jumps and berms, log rolls and larger drops	Long grass and saplings overhanging trail	Sides of trail to be brush cutting. Some drainage issues	Low
10	Slinky	0.836	Blue	0.600	No	Average	Hand built	Long grass and saplings	Sides of trail to be brush cutting.	Low

								overhanging trail	Some drainage issues	
11	Rock lobster	0.359	Green	0.600	No	Average	Hand built, small jumps and berms, rocky feature	Nil	Nil	Low
12	Lobster tail	0.391	Green	0.600	No	Average	Link track, hand built	Erosion close to the creek	Sides of trail to be brush cut. Some drainage issues	Low
13	Mayhem	0.621	Green	0.600	No	Average	Link track, hand built	Erosion close to the creek	Sides of trail to be brush cut. Some drainage issues	Low
14	No trail, potential mapping error									
15	Ridge line	0.528	Green	0.600	No	Average	Link track, hand built	Erosion close to the creek	Sides of trail to be brush cut. Some drainage issues	Low
16	Termites	1.3	Green	0.600	Yes	Average	Hand built, small jumps and berms,	Erosion close to the creek	Sides of trail to be brush cutting. Some drainage issues	Med
17	Coolah	1.600	Green	0.600	Yes	Average	Climb trail	Long grass and saplings overhanging trail	Sides of trail to be brush cutting. Some drainage issues	Low
18	¼ pounder	.315	Blue / black	0.600	Yes	Average	Hand built, gap jumps and berms, off camber section	Erosion close to the creek	Plan to relocate the lower section out of the creek and rehab	Med
19	The entrance	0.332	Blue	0.600	Yes	Good	Hand built, small jumps and berms,	Some water laying on track	Small amount off drainage	Low
20	Morewood gully	0.354	Blue	0.600	Yes	Average	Hand built, small jumps and berms,	Nil	Nil	Low
21	Ant hill	1.128	Black	0.600	Yes	Average	Jumps, berms, drops, rock gardens	Nil	Nil	Low
22	Betya cant	.857	Black	0.300	No	Good	Large drops and jumps. Rock sections	Some parts eroded	To install erosion control / drainage	Low

23	Mushrooms	0.800	Blue	0.600	Yes	Average	Small jumps, berms,	Nil	Nil	Low
24	Dk express	0.320	Double black	0.300	No	Average	Jumps, berms, drops, rock gardens	Nil	Nil	Low
25	Bill the steam shovel		Black	0.300	No	Average	Drops and jumps	Nil	General maintenance	Low
26	The tank	Old trail								
27	Johnys track	0.280	Green	0.600	No	Average	Link track	Nil	Nil	Low
28	Pea dodger link	0.527	Green	4.000	No	Good	Fire road	Nil	Nil	Low
29	Pea dodger (climb)	0.314	Green	0.100	No	Good	Fire road	Nil	Nil	Low
30	Butcher	1.1	Blue	0.600	Yes	Average	Professionally built part hand built, small jumps and berms	Nil	Sides of trail to be brush cutting. Some drainage issues	Med
31	Toad stools	0.815	Blue	0.600	Yes	Average	Small jumps, berms,	Nil	Nil	Low



MID-WESTERN REGIONAL COUNCIL
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E council@midwestern.nsw.gov.au

Native Title Manager's Advice

Section 8.7 Crown Land Management Act 2016

NOTE

Use this form when advice of native title manager is required. See Division 3.4 and 3.5, and sec 4.9 for limitations on Crown Land Managers and local councils.

NATIVE TITLE MANAGER'S WORKSHEETS

Mudgee Common – Authorisation of Plan of Management and Authorisation of Uses R120019 – File Nos Cou500102 & 22104

A. Description of Crown Land and Proposed Act/Activity

i) Title details of Crown land (Lot/DP, area and address)

Lot 7304 DP1151583, 58 Common Road Mudgee. 110.6Ha

ii) Description of Crown land (current use and structures on land)

Used for passive recreation including bushwalking and by local mountain bike riders.

iii) Detailed description of the proposed act/activity (e.g. granting of development consent, adopting a plan of management, carrying out work)

Details attached.

iv) Reserve number

R120019

v) NSW Government Gazette notice date and page

GG. No 16 for Reservation – 23/1/1987, page 353

vi) State Act and section under which land was reserved

Section 28 Crown Lands Consolidation Act 1913

vii) Purpose of reservation

Public Recreation

viii) Details of any additions or amendments to reserve

Nil

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ix) Details of trustee appointment (if any) e.g. NSWGG date and page, and State Act and section under which Council was appointed as trustee

GG No 167 14/12/1990, page 10995. Pursuant to Section 95 Crown Lands Act 1989

x) Details of any adopted Plans of Management

PoM in accordance with Local Government Act – Nil as at 30/4/2021

xi) Details of any undetermined Aboriginal Land Claims

Nil as at 30/4/2021 (Reference – Spreadsheet provided by Crown)

B. Worksheet #1 – Compliance with Crown Land Management Act 2016 and Local Government Act 1993

1. IS THE LAND ON WHICH THE ACTIVITY IS PROPOSED DEDICATED OR RESERVED LAND FOR WHICH COUNCIL IS CROWN LAND MANAGER UNDER THE CLM ACT?

Yes – go to 2

2. HAS THE LAND BEEN CLASSIFIED AS OPERATIONAL LAND WITH THE PRIOR CONSENT OF THE MINISTER? (SEE S3.22(1) AND (3) CLM ACT)

NO - go to 3.

3. HAS A PLAN OF MANAGEMENT (POM) UNDER THE LOCAL GOVERNMENT ACT 1993 (LG ACT) BEEN ADOPTED FOR THE LAND FOR THE PURPOSES OF A 3.23(6) AND (7) OF THE CLM ACT? (SEE S3.22(1) CLM ACT, 3.23(6) AND (7) CLM ACT AND S35 LG ACT)

NO - go to 4.

4. HAS 30 JUNE 2021 PASSED? (SEE CL37A(3)(A)(III) CLM ACT)?

NO - go to 5.

5. IS THERE AN EXISTING PLAN OF MANAGEMENT THAT WAS PREPARED UNDER THE FORMER PART 5 OF THE CROWN LANDS ACT 1989? (CL37A(A) SCHEDULE 7 CLM ACT)

YES - The existing POM under former Part 5 of the Crown Lands Act 1989 continues to apply, go to 6.

6. DOES THE ACT CONTRAVENE THE EXISTING POM UNDER FORMER PART 5 OF THE CROWN LANDS ACT 1989? (SEE CL37A(3) OF SCHEDULE 7 CLM ACT)

NO - go to 7.

7. WILL THE ACT OCCUR BEFORE 30 JUNE 2021? (CL70(1) CLM REGULATION 2018)

YES - go to 8.

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8. IS THE ACT ANY OF THE FOLLOWING (SEE CL70 CLM REGULATION 2018):

- granting of a short term licence over the land of a kind that can be granted by a crown land manager under section 2.20 of the CLM act?
- Renewing an existing lease for a term not exceeding 21 years (including any option period) and there are no additional permitted uses for the land?
- Granting of a new lease not exceeding 21 years (including any option period) where there was a lease in force over the land immediately before 1 July 2018 and there are no permitted uses for the land under the new lease that are additional to those that were permitted under the previous lease?

YES - The short term licence, renewal of existing lease or new lease can be granted. Section 3.22 of the CLM Act does not apply. Go to worksheet #2.

9. DOES THE PROPOSED USE/ACTIVITY CHANGE THE NATURE AND USE OF THE LAND (S3.23(7)(F) CLM ACT) AND S44 LG ACT)?

NO - go to 11.

10. IS THE PROPOSED USE/ACTIVITY AUTHORISED BY AND IN ACCORDANCE WITH THE POM (S35 LG ACT)

Choose YES or NO

11. IS THE PROPOSED USE/ACTIVITY FOR A PURPOSE FOR WHICH THE LAND WAS RESERVED OR A PURPOSE INCIDENTAL OR ANCILLARY TO THE RESERVE PURPOSE (S2.12 CLM ACT)

YES - go to 12.

12. DOES THE PROPOSED ACTIVITY INVOLVE SELLING OR DISPOSING OF CROWN LAND? (S3.22(4)(A) CLM ACT)

NO - go to 14.

13. HAS THE COUNCIL OBTAINED THE MINISTER'S CONSENT FOR THE SALE/DISPOSAL? (S3.22(4)(A) CLM ACT)

Choose YES or NO

14. DOES THE PROPOSED ACTIVITY COMPLY WITH ANY LIMITATIONS OR RESTRICTIONS SPECIFIED BY THE COUNCIL'S CROWN LAND MANAGER APPOINTMENT (IF THERE HAS BEEN AN INSTRUMENT OF APPOINTMENT)(S3.22(4)(D)(I) CLM ACT).

YES - There are no limitations or restrictions specified - go to 15.

15. DOES THE PROPOSED ACTIVITY COMPLY WITH THE CROWN LAND REGULATIONS (S3.22(4)(D)(II) CLM ACT)

YES - go to 16.

16. DOES THE PROPOSED ACTIVITY COMPLY WITH ANY APPLICABLE CROWN LAND MANAGEMENT RULES (S3.22(4)(D)(III) CLM ACT)

YES - go to 17.

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17. DOES THE USE/ACTIVITY COMPLY WITH THE LG ACT REQUIREMENTS OF DEALINGS IN COMMUNITY LAND? (E.G. SS45-47F OF LG ACT).

YES - Use/activity complies with the LG Act. Go to worksheet #2.

C. Worksheet #2 – Compliance with Native Title Obligations under the Crown Land Management Act 2016

'Relevant Land' (s8.1 and s8.5 CLM Act)

1. IS THE LAND OF WHICH THE ACTIVITY IS PROPOSED EITHER:

- DEDICATED OR RESERVED LAND FOR WHICH COUNCIL IS CROWN LAND MANAGER UNDER THE CLM ACT, OR
- LAND VESTED IN THE COUNCIL?

Yes – go to 2.

'Excluded Land' (s8.1 and s8.5 CLM Act)

2. IS THE LAND SUBJECT TO AN APPROVED DETERMINATION OF NATIVE TITLE AND ALL NATIVE TITLE RIGHTS AND INTERESTS HAVE BEEN FOUND TO BE EXTINGUISHED OR DO NOT EXIST (SEE NOTE 1) [HERE](#), OR [HERE](#).

No – go to 3.

Note: Approved determinations of native title can be found on the National Native Title Register on the [National Native Title Tribunal website](#).

3. IS THE LAND THE SUBJECT OF A REGISTERED INDIGENOUS LAND USE AGREEMENT WHERE ALL NATIVE TITLE RIGHTS AND INTERESTS IN RELATION TO THE LAND HAVE BEEN SURRENDERED (SEE NOTE 2) – [HERE](#) OR [HERE](#)?

No – go to 4.

Note 2: Registered Indigenous Land use Agreements can be found on the Register of Indigenous Land use Agreements on the [National Native Title Tribunal website](#).

4. IS THE LAND SUBJECT TO SECTION 24FA PROTECTION (SEE NOTE 3) – [HERE](#) OR [HERE](#)?

No – go to 5.

Note 3: The land is subject of s24FA protection if all the following apply:

- a) the land is the subject of a non-claimant application for determination of native title, and
- b) the 3-month period specified in a notice given under s66 of the NT Act in relation to application has ended, and
- c) at the end of that 3 month period there has been no native title claim in relation to the land, and
- d) the non-claimant application has not been withdrawn, dismissed or finalised, and
- e) there is no entry on the National Native Title Register that native title exist in relation to the land

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5. HAVE ALL NATIVE TITLE RIGHTS AND INTERESTS IN RELATION TO THE LAND BEEN COMPULSORILY ACQUIRED?

No – go to 6.

6. IS A NATIVE TITLE CERTIFICATE IN EFFECT WITH RESPECT TO THE LAND?

No – the land is not 'excluded land'. Go to 7.

Division 8.3 – Management of Land

7. IS COUNCIL PROPOSING TO COMPULSORILY ACQUIRE NATIVE TITLE RIGHTS AND INTERESTS IN RELATION TO THE LAND (S8.9 CLM ACT)?

Choose YES or NO

8. IS THE COUNCIL PROPOSING TO (S8.7 CLM ACT):

- A. GRANT A LEASE, LICENCE, PERMIT, FORESTRY RIGHT, EASEMENT OR RIGHT OF WAY OVER THE LAND
- B. MORTGAGE THE LAND OR ALLOW IT TO BE MORTGAGED
- C. IMPOSE, REQUIRE OR AGREE TO (OR REMOVE OR RELEASE, OR AGREE TO REMOVE OR RELEASE) COVENANTS, CONDITIONS OR OTHER RESTRICTIONS ON USE IN CONNECTION WITH THE LAND
- D. APPROVE (OR SUBMIT FOR APPROVAL) A PLAN OF MANAGEMENT FOR THE LAND THAT AUTHORISES OR PERMITS ANY OF THE KINDS OF DEALINGS REFERRED TO IN PARAGRAPHS A, B, OR C.

No – Written advice from Native Title Manager is not required but the Council must nevertheless comply with the Native Title Act 1993. Go to 9.

Division 8.4 – Compensation Responsibilities

9. IS THE PROPOSED CONDUCT OF THE COUNCIL IN CONNECTION WITH ANY DEDICATED OR RESERVED CROWN LAND FOR WHICH THE COUNCIL IS CROWN LAND MANAGER, OR ANY FORMER CROWN LAND THAT IS OR WAS VESTED IN THE COUNCIL?

Yes – Council will be liable to any compensation, and to indemnify the State for any compensation liable to be paid by the State under the NT Act for the relevant conduct. Go to Worksheet #3.

D. Worksheet #3 – Compliance with Native Title Act 1993

1. Is the act a past act, have native title rights and interests been previously extinguished?

1. MIGHT THE ACT/ACTIVITY AFFECT NATIVE TITLE? (ONLY NEED TO FORM A VIEW ON WHETHER THE ACT **MAY** AFFECT NATIVE TITLE. IF UNSURE, ASSUME 'YES')

Yes – go to 2.

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2. MIGHT THE ACT/ACTIVITY BE A 'PAST ACT'? E.G. PRIOR TO 1/7/1993 OR 1/1/1994 (SEE 'PAST ACT' CHECKLIST. SEEK LEGAL ADVICE IF UNSURE)

NO - go to 3.

3. MIGHT THERE HAVE BEEN A 'PREVIOUS EXCLUSIVE POSSESSION ACT'? E.G. FREEHOLD/LEASE ETC ON OR BEFORE 23/12/1996 (SEE 'PREVIOUS EXCLUSIVE POSSESSION ACT' CHECKLIST. SEEK LEGAL ADVICE IF UNSURE)

NO - go to 4.

4. IS THE ACTIVITY A VALID 'FUTURE ACT' (S233 NT ACT)? (SEE 'FUTURE ACT' PROVISIONS CHECKLIST. SEEK LEGAL ADVICE IF UNSURE)

YES - see 'future act' checklists for relevant actions

1. Checklist: Is the Act a Past Act?

Checklist 1 is: Not Applicable

2. Checklist: Has there been a previous exclusive possession Act?

Checklist 2 is: Not Applicable

3. Checklist: Is the Act a future Act?

Checklist 3 is: Applicable

4. Checklist: Do Subdivisions B-E apply? (registered indigenous land use agreements)

Checklist 4 is: NA, go to next subdivision

5. Checklist: Does Subdivision F apply? Section 24FA protection (procedures which indicate absence of Native Title)

Checklist 5 is: NA, go to next subdivision

6. Checklist: Does Subdivision G apply? Section 24GB/24GC apply?

Checklist 6 is: NA, go to next subdivision

7. Checklist: Subdivision G – Future Acts and primary production

Checklist 7 is: NA, go to next subdivision

8. Checklist: Subdivision G – Future Acts and primary production

Checklist 8 is: NA, go to next subdivision

9. Checklist: Subdivision G – future Acts and primary production

Checklist 9 is: NA, go to next subdivision

10. Checklist: Subdivision H – management of water and airspace

Checklist 10 is: NA, go to next subdivision

11. Checklist: Subdivision I – renewals and extensions etc

Checklist 11 is: NA, go to next subdivision

12. Checklist: Subdivision JA – public housing etc

Checklist 12 is: NA, go to next subdivision

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13. Checklist: Subdivision J – reservations, leases etc

Checklist 13 is: **Applicable**

Validates acts relating to areas that are subject to a reservation, proclamation, dedication, condition, permission or authority (the reservation or dedication); and acts in relation to certain leases granted to statutory authorities. Generally it applies to acts done in good faith under or in accordance with the reservation, proclamation, dedication, condition, permission or authority. This Subdivision will be relied upon the most to validate acts that are future acts (Native title Manager Workbook Pub10/2017 p.75).

Section 24JA: Acts covered by this subdivision

Requirement	Section	Requirements satisfied and comments
1. Reservations etc: This Subdivision applies to a future act (the later act) if an act (the earlier act) took place before the later act and on or before 23 December 1996.	24JA(1)(a)	YES Comments: The reservation was gazetted on 23/1/1987
2. Reservations etc: This Subdivision applies to a future act (the later act) if the earlier act was valid (including because of Division 2 or 2A).	24JA(1)(b)	YES Comments: The earlier act (the making of the Reservation) was valid because it occurred prior to 23 December 1996
3. Reservations etc: This Subdivision applies to a future act (the later act) if the earlier act: i. was done by the Crown in right of the Commonwealth, a State or Territory; or ii. consisted of the making, amendment or repeal of legislation by the Commonwealth, a State or Territory.	24JA(1)(c)	YES Comments: Reservation was proclaimed by the Minister for Lands under s28 of the Crown Lands Consolidation Act 1913 gazetted on 23/1/1987
4. Reservations etc: This Subdivision applies to a future act (the later act) if the earlier act contained, made or conferred a reservation, proclamation, dedication, condition, permission or authority (the reservation) under which the whole or part of any land or waters was to be used for a particular purpose:	24JA(1)(d)	YES Comments: The earlier act was for a particular purpose being the land was reserved for Public Recreation
5. Reservations etc: This Subdivision applies to a future act (the later act) if the later act is done in good faith: i. under or in accordance with the reservation; or ii. in the area covered by the reservation, so long as the act's impact on native title is no greater than the impact that any act that could have been done under or in accordance with the reservation would have had. Example 1: A future act consisting of the creation of a national park management plan might be covered by subparagraph (e)(i), if the land concerned was reserved for the establishment of the national park before 23 December 1996.	24JA(1)(e)	YES Comments: 1. Adoption of the Plan of Management - The adoption of the Mudgee Common PoM is consistent with the intent of the original reservation for all public recreation reserves.

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Requirement	Section	Requirements satisfied and comments
<p>Example 2: A future act consisting of the grant of a forestry licence might be covered by that subparagraph, if the grant is done under or in accordance with a dedication for forestry purposes made before 23 December 1996.</p> <p>Example 3: Subparagraph (e)(ii) might apply if particular land was reserved as a hospital site before 23 December 1996, and instead a school is later built on the land.</p>		<p>2. Authorisation of the uses cited in the proposed Plan of Management - Each of the acts described at cl 5.3 other than those listed under the heading of <i>Additional Land Uses/Activities</i> of the Mudgee Common PoM, in our opinion, would be consistent with or have no greater impact on Native title that any act could have been done under or in accordance with the reservation would have had. Any other proposed activity or land use would require individual NT assessment.</p> <p>3. Development – In our opinion, the potential for further development or improvement as described at cl. 5.8 Car Parking and Access; cl. 5.10 Signage; cl. 5.12 Management of Threatened Species and Communities (installation of barricades) and cl. 5.13 General Management (weeds & fencing) would be consistent with or have no greater impact on Native title that any act could have been done under or in accordance with the reservation would have had.</p> <p>4. Leases, Licences and other Estates – The issuing of leases, licences and other estates as described at cl.5.11, in our opinion, will be either consistent with the reserve purpose or will have no greater impact that any act that could have been done under or in accordance with the reservation would have had.</p>
6. Leases: This Subdivision also applies to a future act (the later act) if an act (the earlier act) took place before the later act and on or before 23 December 1996	24JA(2)(a)	<p>Choose YES or NO</p> <p>Comments: [insert comments or delete]</p>
7. Leases: This Subdivision also applies to a future act (the later act) if the earlier act was valid (including because of Division 2 or 2A)	24JA(2)(b)	<p>Choose YES or NO</p> <p>Comments: [insert comments or delete]</p>

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Requirement	Section	Requirements satisfied and comments
8. Leases: This Subdivision also applies to a future act (the later act) if the earlier act was done by the Crown in right of the Commonwealth, a State or a Territory	24JA(2)(c)	Choose YES or NO Comments: [insert comments or delete]
8. Leases: This Subdivision also applies to a future act (the later act) if the earlier act consisted of the grant of a lease to a statutory authority of the Commonwealth, the State or the Territory, where: i. under the lease, the whole or part of any land or waters covered by the lease was to be used for a particular purpose; or ii. there is written evidence, created at any time on or before 23 December 1996 by the Commonwealth, the State or the Territory, that the whole or part of any land or waters covered by the lease was to be used for a particular purpose	24JA(2)(d)	Choose YES or NO Comments: [insert comments or delete]
8. Leases: This Subdivision also applies to a future act (the later act) if the later act is done in good faith and consists of the use, by the statutory authority or any person, of the land or waters for the particular purpose.	24JA(2)(e)	Choose YES or NO Comments: [insert comments or delete]

Treatment of Acts covered by Subdivision JA

Validity	24JB (1)	If this Subdivision applies to a future act, the act is valid.
Extinguishment consequences – public works	24JB (2)	<p>Extinguishment consequences – public works</p> <p>public work means s.253 NT Act (Cth):</p> <p>(a) any of the following that is constructed or established by or on behalf of the Crown, or a local government body or other statutory authority of the Crown, in any of its capacities:</p> <p>(i) a building, or other structure (including a memorial), that is a fixture; or</p> <p>(ii) a road, railway or bridge; or</p> <p>(ia) where the expression is used in or for the purposes of Division 2 or 2A of Part 2—a stock route; or</p> <p>(iii) a well, or bore, for obtaining water; or</p> <p>(iv) any major earthworks; or</p> <p>(b) a building that is constructed with the authority of the Crown, other than on a lease.</p> <p><small>Note: In addition, section 251D deals with land or waters relating to public works.</small></p> <p>s.251D NT Act (Cth): Land or waters on which a public work is constructed, established or situated</p>

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	<p>In this Act, a reference to land or waters on which a public work is constructed, established or situated includes a reference to any adjacent land or waters the use of which is or was necessary for, or incidental to, the construction, establishment or operation of the work.</p> <p>If the act consists of the construction or establishment of a public work:</p> <ol style="list-style-type: none"> the act extinguishes any native title in relation to the land or waters on which the public work (on completion of its construction or establishment) is situated; and the extinguishment is taken to have happened when the construction or establishment of the public work began.
Extinguishment consequences – not public works	If the act does not consist of the construction or establishment of a public work, the non extinguishment principle applies to the act.
Compensation	The native title holders are entitled to compensation for the act in accordance with Division 5.
Who pays compensation	<p>The compensation is payable by:</p> <ol style="list-style-type: none"> If the act is attributable to the Commonwealth – the Crown in the right of the Government; or If the act is attributable to a State or Territory – the Crown in right of the State or Territory
Notification of public works	<p>If the act consists of the construction or establishment of a public work, then, before the act is done, the person proposing to do the act must:</p> <ol style="list-style-type: none"> notify, in the way determined, by legislative instrument, by the Commonwealth Minister, any representative Aboriginal/Torres Strait Islander bodies, registered native title bodies corporate and registered native title claimants in relation to the land or waters covered by the reservation or lease that the act, or acts of that class, are to be done in relation to the land or waters; and give them an opportunity to comment on the act or class of acts.
Notification of national, state and territory park management plans	<p>If the act consists of the creation of a plan for the management of a national, State or Territory park intended to preserve the natural environment of an area, then, before the act is done, the person proposing to do the act must:</p> <ol style="list-style-type: none"> notify, in the way determined, by legislative instrument, by the Commonwealth Minister, any representative Aboriginal/Torres Strait Islander bodies, registered native title bodies corporate and registered native title claimants in relation to the land or waters covered by the plan that the act is to be done in relation to the land or waters; and give them an opportunity to comment on the act.

14. Checklist: Subdivision **K** – facilities for services to the public

Checklist 14 is: Choose an item.

15. Checklist: Subdivision **L** – low impact future Acts

Checklist 15 is: Choose an item.

16. Checklist: Subdivision **M** – Acts passing the freehold test

Checklist 16 is: **NA, go to next subdivision**

ERROR! REFERENCE SOURCE NOT FOUND. | MID-WESTERN REGIONAL COUNCIL

17. Native Title Manager's Considered Advice

1. Advice

WHETHER NATIVE TITLE MANAGER'S ADVICE IS REQUIRED

Native Title Manager's advice is required because the Act is a future Act and is intended to be carried out on land where Native Title may still exist. Compliance with the Native Title Act 1993 and the CLM Act is required.

COMPLIANCE WITH NATIVE TITLE ACT 1993

In our opinion, the proposed act, being the adoption of the Mudjee Common Plan of Management will not affect Native Title. The act impacting Reserve 120019 will comply with the applicable provisions of the Native Title Act 1993 being a valid future act under section 24JA. Therefore the proposed act may be carried out.

1. Any uses authorised by the Mudjee Common Plan of Management and not requiring further Native Title Manager advice (other than those listed under the heading of *Additional Land Uses/Activities*) of the Mudjee Common Plan of Management will either have no impact on Native title or be valid under Sections 24JA and/or 24KA of the Native Title Act 1993. Refer to cl 5.4 of the Mudjee Common Plan of Management for the list of these uses.
2. The proposed act, being the adoption of the Mudjee Common Plan of Management, may occur at some further stage and authorises further acts which may affect Native title.
 - a. The proposed Development acts cited at cl. 5.8 Car Parking and Access; cl. 5.10 Signage; cl. 5.12 Management of Threatened Species and Communities (installation of barricades) and cl. 5.13 General Management (weeds & fencing) will comply with the applicable provisions of the Native Title Act 1993 being a valid future act under section 24JA.

Of these proposed Development acts, it is considered that the acts at cl 5.8 Car Parking and Access will involve the construction or establishment of a Public Work and will require notification under s24JB(6) of the Native title Act 1993 to be given to NTSCORP for opportunity to comment. It is considered that the other proposed Development acts will not constitute a Public Work and notification is not required.
 - b. The proposed authorisation of leases, licences and other estates generally, and the specific reference to issuing a licence to Mudjee Region MTB Inc for mountain bike events and track management cited at cl. 5.11, will comply with the applicable provisions of the Native Title Act 1993 being a valid future act under section 24JA. Apart from the proposed licence agreement expressly authorised to Mudjee Region MTB Inc, any other use agreements will require future Native Title Manager's advice.
3. The Future Works proposed of a lookout, picnic tables, viewing platform upgrading/extension of a carpark cited at cl. 5.14 of the Mudjee Common Plan of Management will require future Native Title Manager's advice. These works should be valid, but have not been assessed here as more detail is required.

ERROR! REFERENCE SOURCE NOT FOUND. | MID-WESTERN REGIONAL COUNCIL

Choose a statement.

RISKS TO COUNCIL

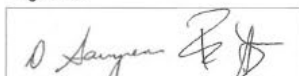
1. Should Native Title be determined to exist at some future date, Council may be liable for compensation under the provisions of the Native Title Act 1993 (Cth) and the Crown Land Management Act 2016, for the effect on Native Title rights and interests by the proposed Act.
2. There is no undetermined Aboriginal Land Claim over this Reserve at this date.
3. If there is a significant change to the project, this Native Title Manager's advice and/or the NTSCORP notification may need to be re-examined. Please discuss with Council's Native Title Manager(s).

Names of Native Title Managers

Diane Sawyers

Ian Clayton

Signature



Date 4 May 2021

Attachments

Insert list of attachments. For example

- Project documents
- Extract from Crown Land Manager Reserves Portal
- Current title search
- Copies of the NSW Government Gazette notices (if any) reserving land and appointing Council as trustee/reserve trust manager/ Crown land manager
- Native Title searches
- Evidence of previous exclusive possession Act which extinguished Native Title
- Notification to NTSCORP



MID-WESTERN REGIONAL COUNCIL
PO Box 156, MUDGEES NSW 2850
86 Market Street, Mudgee | 109 Herbert Street, Gulgong | 77 Louee Street, Rylstone
T 1300 765 002 or 02 6378 2850 | F 02 6378 2815
E council@midwestern.nsw.gov.au

****INTERNAL USE ONLY****

Request for Native Title advice

Details of Proposed Future Dealings, Acts/Projects/Works on Council Managed Crown Land

(Division 8.3 s8.7 Crown Land Management Act 2016 No 58 and Native Title Act 1993 (Cth)).

PURPOSE OF THIS FORM

This form is to be used to facilitate compliance by Council with the Native Title Act 1993 (Cth) (NT Act (Cth)) and the Crown Land Management Act 2016 (CLM Act), where future dealings or future acts/projects/works (**proposed future work**) are proposed to be conducted on Council managed, dedicated or reserved, Crown land.

Council's Native Title Manager must assess the proposal and provide advice on whether or not the proposal complies with the legislation.

DETAILS OF PROPOSED FUTURE DEALING/ ACT/ PROJECT/ WORK

This form is to be completed by the Budget Manager or Project Manager at least 2 months before the future work is due to commence.

The completed form is to be emailed to Council's Native Title Managers in Revenue & Property for a compliance assessment and appropriate written advice, which may include any notification referrals that need to be complied with before the commencement of any proposed future work on the site. These processes combined, may take up to 2 months to complete.

Native Title Manager advice will be forwarded to the Budget Manager or Project Manager after assessment.

Under the CLM Act, Council may be liable to pay compensation to affected Native Title holders for any future work carried out on Crown land.

It is therefore imperative that proposed future works **MUST NOT** be commenced before assessment is undertaken and written advice is provided. The written advice will direct whether the proposed undertaking may or may not proceed and whether notification referrals are required.

CONTACT

If you have any queries in relation to using this form, please contact one of Council's Native Title Managers:

Diane Sawyers – t | 6378 2839; e | diane.sawyers@midwestern.nsw.gov.au

Ian Clayton – t | 6378 2821; e | ian.clayton@midwestern.nsw.gov.au

Details of Proposed Future Work

(To be completed by Budget Manager or Project Officer).

1. IDENTIFY THE PROPOSED SITE

Reserve Name	Mudgee Common (Pn 22104)		
Address	58 Common Road, Mudgee 2850		
Reserve Number	120019	Lot & DP Number	Lot 7304 DP1151583

2. DETAILED DESCRIPTION OF THE PROPOSED FUTURE WORK

1. Adoption of the Plan of Management dated 30 April 2021 for the Mudgee Common R120019, as attached.
2. Authorisation of the uses cited in the proposed Plan of Management dated 30 April 2021 for the Mudgee Common R120019, at cl5.3.
3. Authorisation of the act of issuing a licence between Mid-Western Regional Council and Mudgee Region MTB Incorporated as cited in the proposed Plan of Management dated 30 April 2021 for the Mudgee Common R120019, at cl5.11.

Is the proposed future work (tick one):

☒ Over existing footprint and/or ☐ New area

☐ I have attached a site plan of the location of the proposed future work on the Lot.

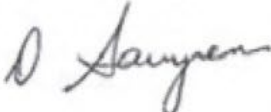
Tick
(✓)

3. SIGNATURES

Name/s of Budget Manager/Project Officer

Diane Sawyers

Signature



Date submitted

30-Apr-21



LAND
REGISTRY
SERVICES

Title Search



NEW SOUTH WALES LAND REGISTRY SERVICES – TITLE SEARCH

FOLIO: 7304/1151583

SEARCH DATE	TIME	EDITION NO	DATE
4/5/2021	2:46 PM	-	-

CERTIFICATE OF TITLE HAS NOT ISSUED

LAND

LOT 7304 IN DEPOSITED PLAN 1151583
AT MUDGEES
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF MUDGEES COUNTY OF WELLINGTON
TITLE DIAGRAM DP1151583

FIRST SCHEDULE

THE STATE OF NEW SOUTH WALES (CA153482)

SECOND SCHEDULE (2 NOTIFICATIONS)

- * 1 THE LAND IS A RESERVE WITHIN THE MEANING OF PART 5 OF THE CROWN LANDS ACT 1989 AND THERE ARE RESTRICTIONS ON TRANSFER AND OTHER DEALINGS IN THE LAND UNDER THAT ACT, WHICH MAY REQUIRE CONSENT OF THE MINISTER.
- * 2 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

AD Mudgee Common

PRINTED ON 4/5/2021

* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title. Warning: the information appearing under notations has not been formally recorded in the Register. InfoTrack an approved NSW Information Broker hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with Section 96B(2) of the Real Property Act 1900.

[illegible]

REFERENCE TO IP APPLICATION

Part	Applicant	Value	Area	Remarks	Art. V.
51		\$210.0	Inc.	Revised	86

26th May 88
23rd June 88

Smith 228 Willington Smith 236
12.2.80 16.1.80 12.2.80
N 2475 N 2475 N 2475

36ac 100

Permanent Common

Dedicated 6th Decemr '67

H O

51

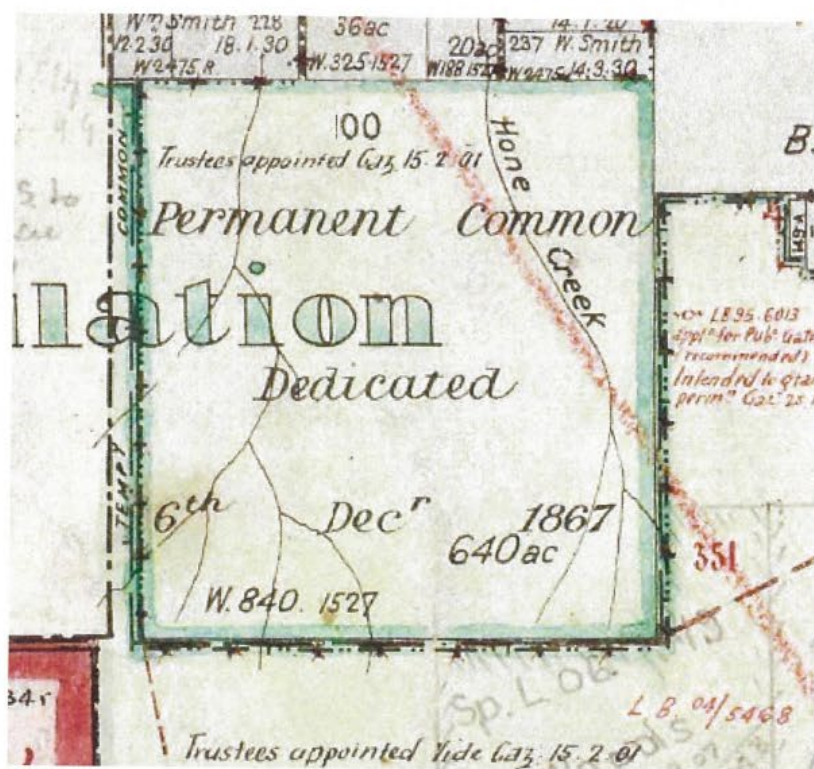
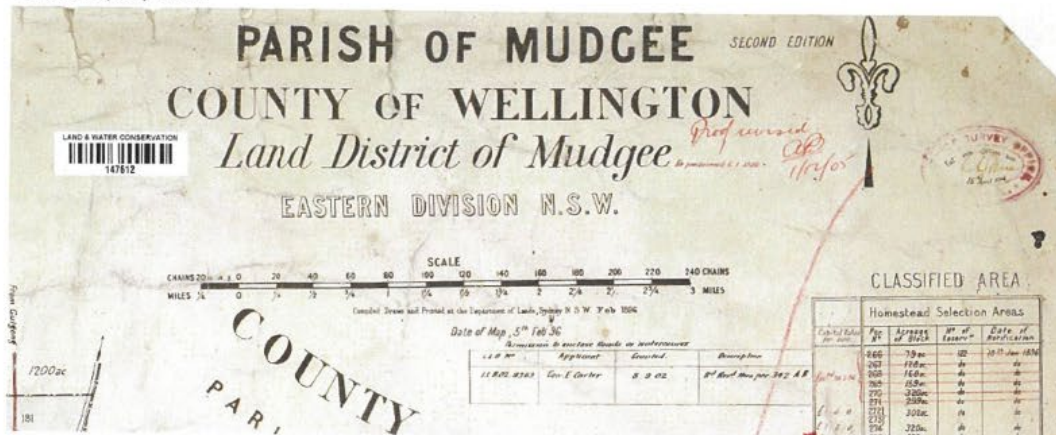
Boundary

1895.6013
aptn for Sub Gals
(recommended)
intended to govern
from 2 Gals 25 No. 50

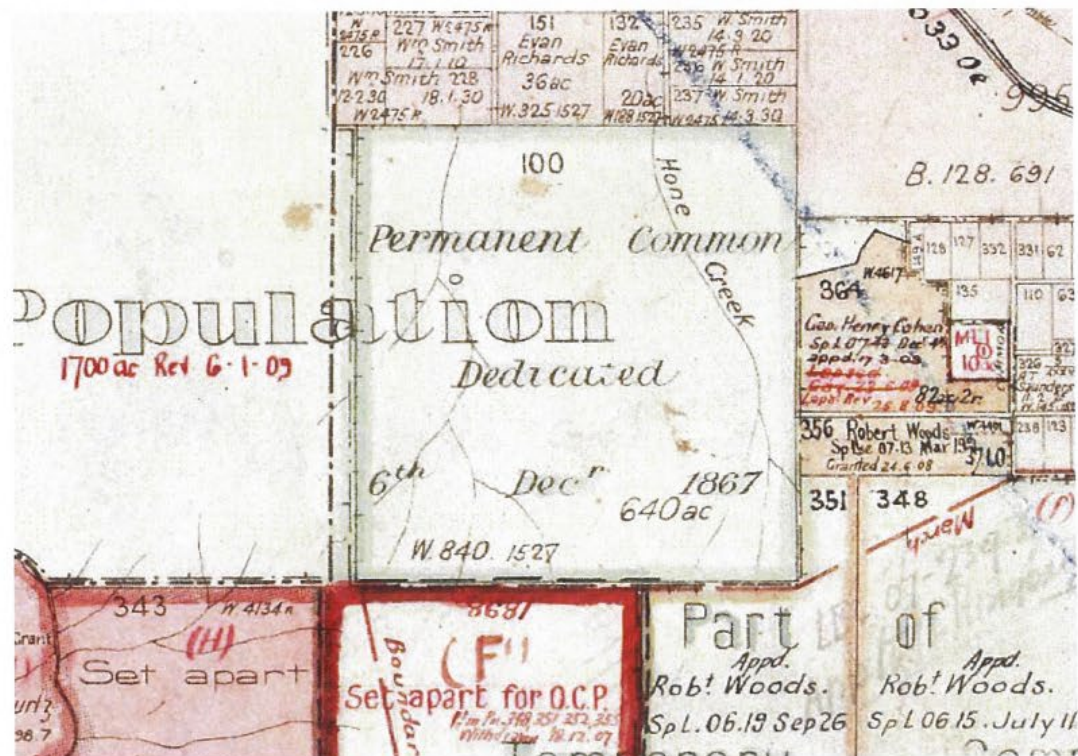
1895.6013
aptn for Sub Gals
(recommended)
intended to govern
from 2 Gals 25 No. 50

1895.6013
aptn for Sub Gals
(recommended)
intended to govern
from 2 Gals 25 No. 50

Historical Parish Maps
Dated 15/04/1896



dated 4/03/ 1907



Edgewood

Fourth Edition

Ref into Office Use

147610

PARISH OF MUDGEE
COUNTY OF WELLINGTON
Land District of Mudgee

EASTERN DIVISION N.S.W.
MEROO SHIRE

Proof litho revised
5/10/94
4-7-95

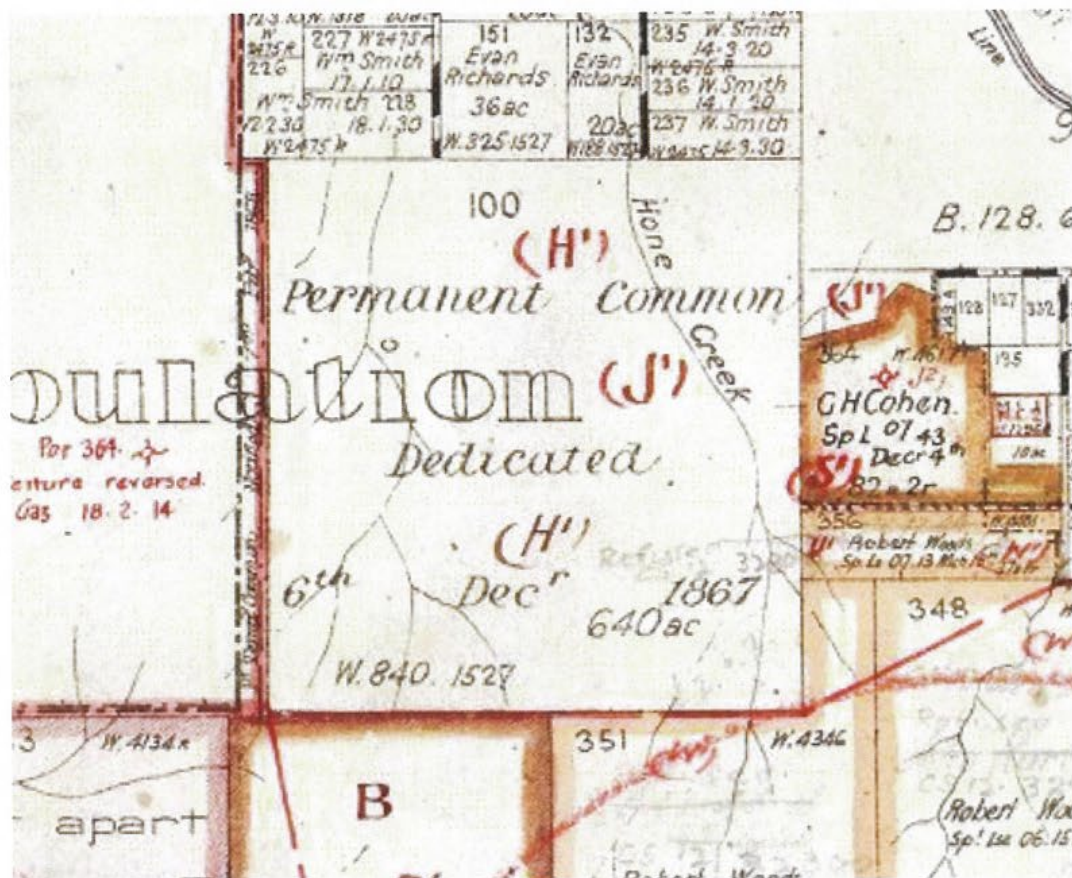
By 63700 State or Lease generally, And Note 1994
encompasses side of River, etc., and tributaries, E.
and W. Division.

CHAINS 20 40 60 80 100 120 140 160 180 200 220 240 CHAINS
MILES 1/4 0 1/4 1/2 3/4 1 1 1/4 1 1/2 1 3/4 2 2 1/4 2 1/2 3 MILES

Scale

Consult, Drawn and Printed at the Department of Lands, Sydney N.S.W. (Class D)

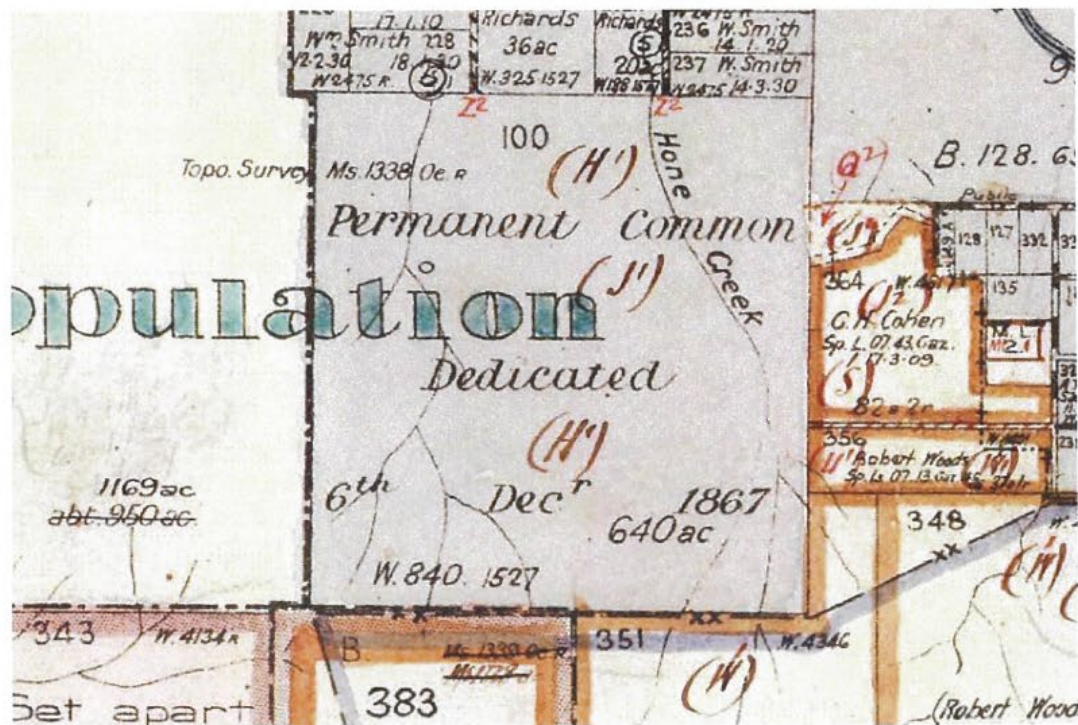
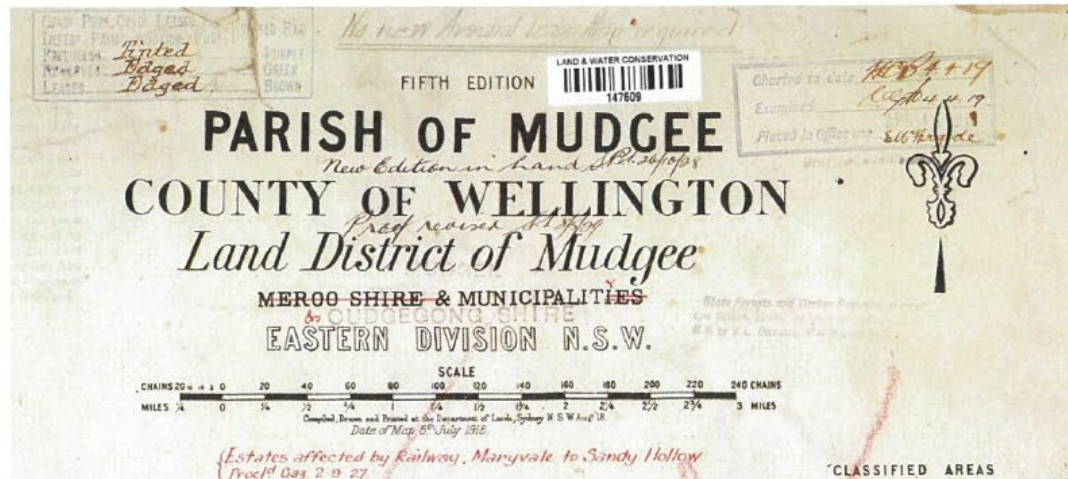
Date of Map, 4th May '70



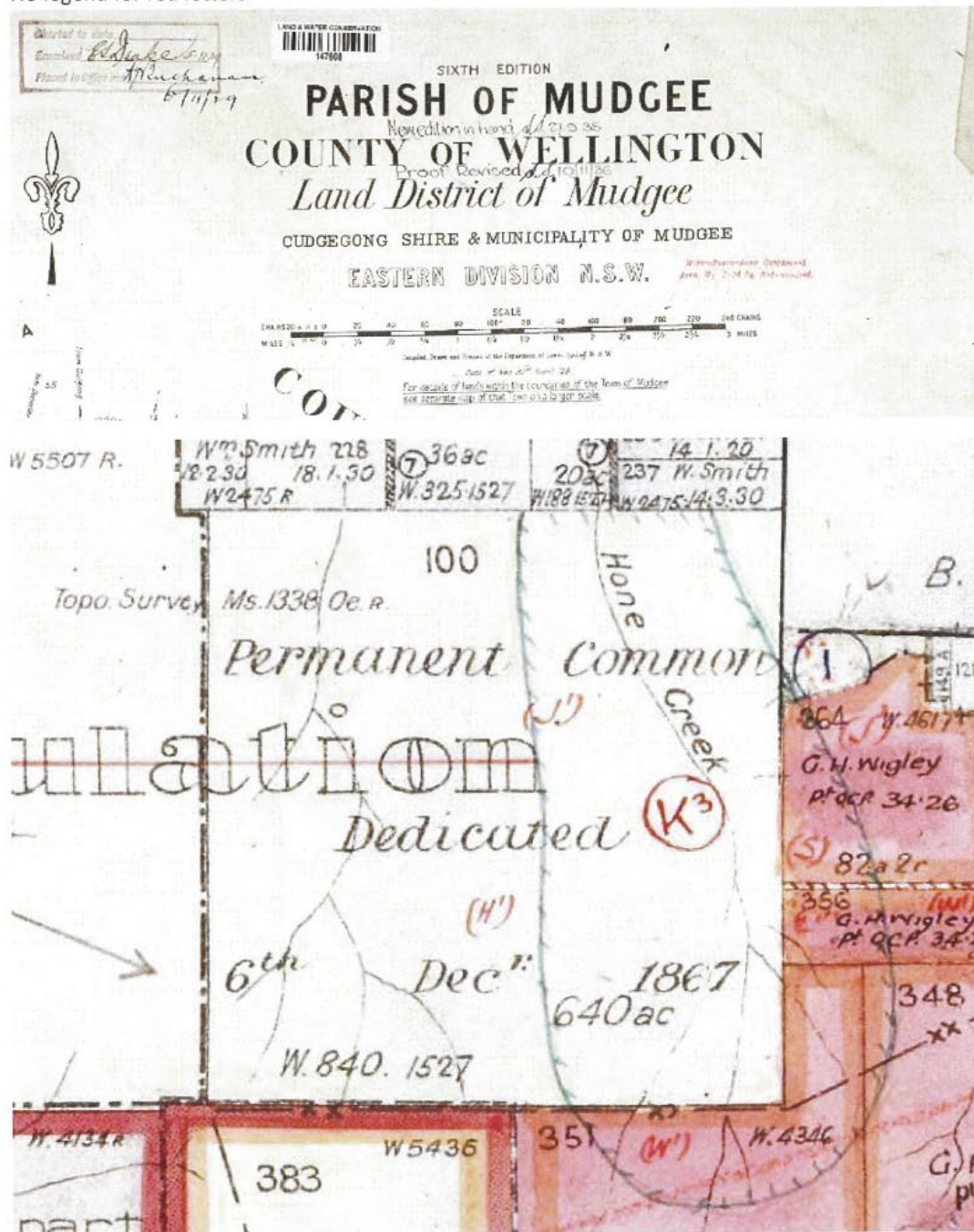
Mudgee Parish Map

Dated: 4/4/1919

No legend for red letters



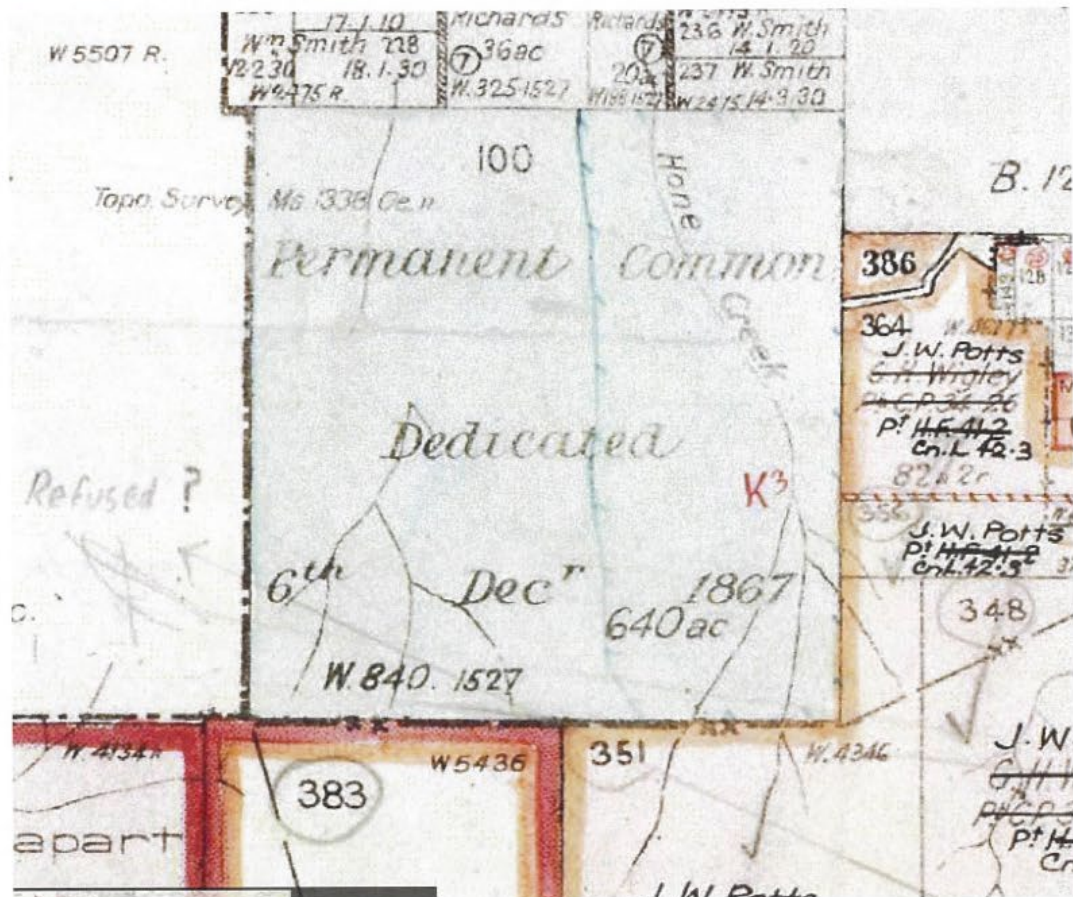
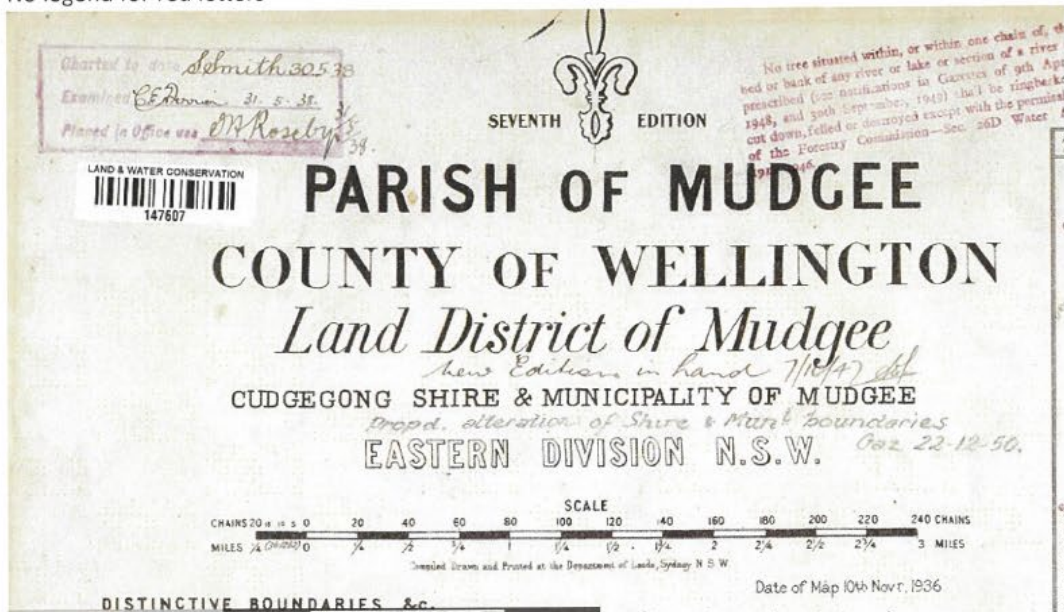
Mudgee Parish Map
Dated: 6/11/1929
No legend for red letters



Mudgee Parish Map

Dated 31/5/1938

No legend for red letters

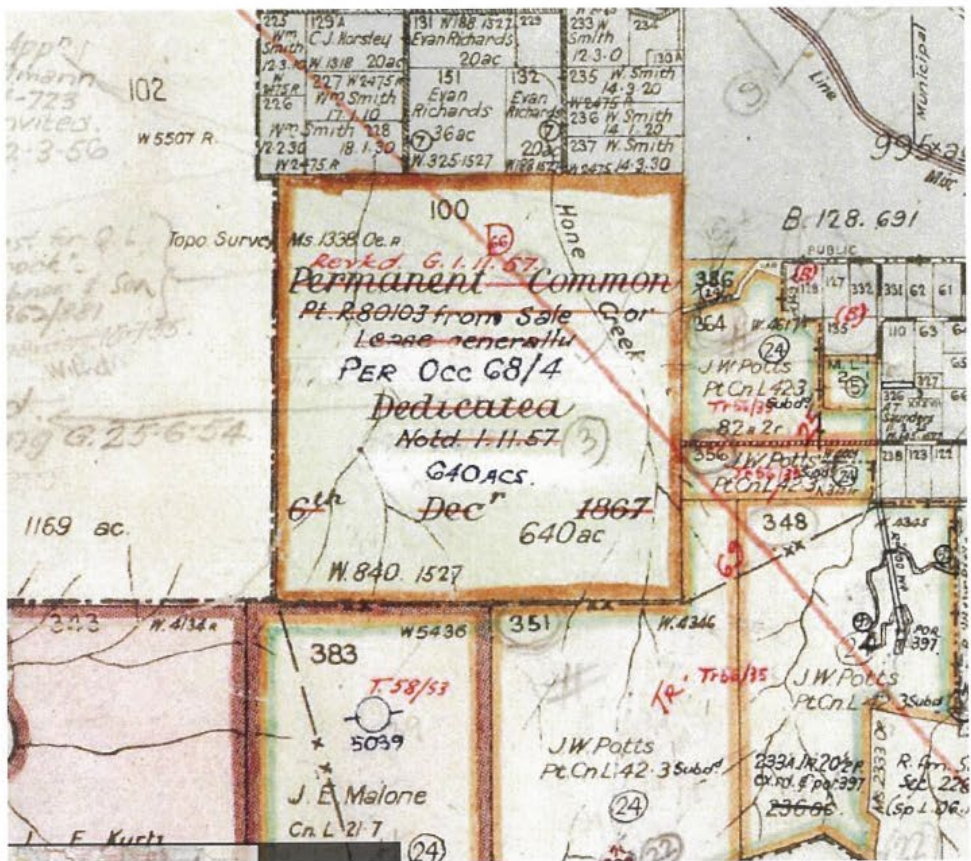


Mudgee Parish Map

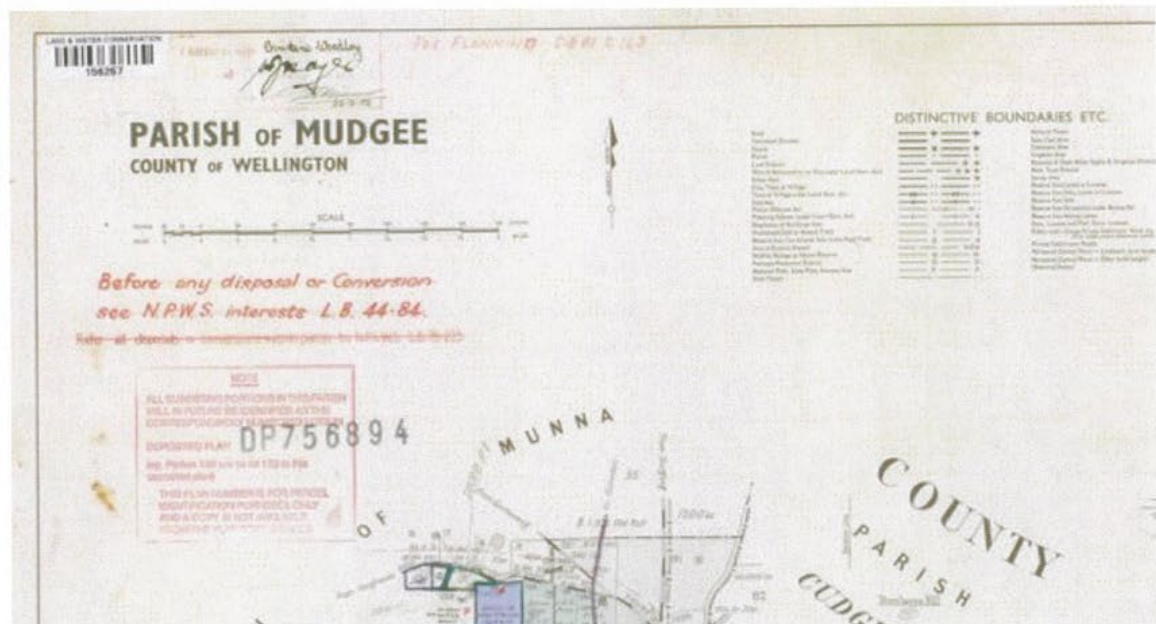
Dated 13/7/1956

No legend showing red 66,





Mudgee Parish Map Dated 25/10/1971



		Requirements. Not'd B-1-65.	
45	N.W.	A. 96521 for Future Public Requirements. Not'd. 24-12-82 (Fol. 5999)	
46		Approp' for Public Works purposes. Gaz 31-8-84 (Fol. 4394)	
47	SE, N.W.	Avisford Nature Reserve. Procl'd. 21-6-85 (Fol. 2770) G.N.R. Gaz.	19-6-87 (Fol. 3121)
48	N.W.	Dangaroo Wildlife Refuge. Procl'd 14-2-86 (Fol. 655)	
49	N.W.	Closed road. Gaz. 4-7-86 (Fol. 3166) Lot 1 D.P. 721263	
		Fullan Coal Mines Limited - 4047m ²	
50	N.W.	Closed road. Gaz. 4-7-86 (Fol. 3166) Lot 1 D.P. 721265	
		The Council of the Shire of Mudgee 5505m ²	
51	N.W.	Tudor Hills Wildlife Refuge Procl'd 28-11-86 (Fol. 5803)	
52	N.W.	R120019 for Public Recreation Not'd 23-1-87 (Fol. 353)	
53	S.E.	Pt Avisford Nature Reserve Procl'd 25-9-87 (Fol. 5425)	
54	N.W.	Resumed & Dedicated as Public Road Gaz. 6-11-87 (Fol. 6218) Lots 1-8 D.P. 722878	
55	N.W.	Closed Road Gaz. 24-12-87 (Fol. 7229) Lot 1 D.P. 724626	



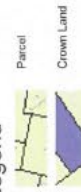


Disclaimer

This map has been created for the purpose of showing basic locality information over Mid-Western Regional Council's land. The map is not a cadastral map and is not a substitute for a cadastral map. The map is not a substitute for a cadastral map.

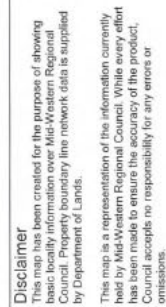
This map is a representation of the information currently held by Mid-Western Regional Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions.

Legend



Mudgee Common - Reserve No 120019 58 Common Road MUDGEE NSW 2850 PN 22104

Map Scale: 1:12,580



(5847)

Sydney, 23rd January, 1987.

RESERVES FROM SALE

IN pursuance of the provisions of Section 28, Crown Lands Consolidation Act 1913, I declare that the Crown Lands described hereunder shall be reserved from sale for the public purposes specified and such lands are reserved accordingly.

J. R. HALLAM, Minister for Lands.

FOR PUBLIC RECREATION

Land District—Deniliquin; Shire—Wakool

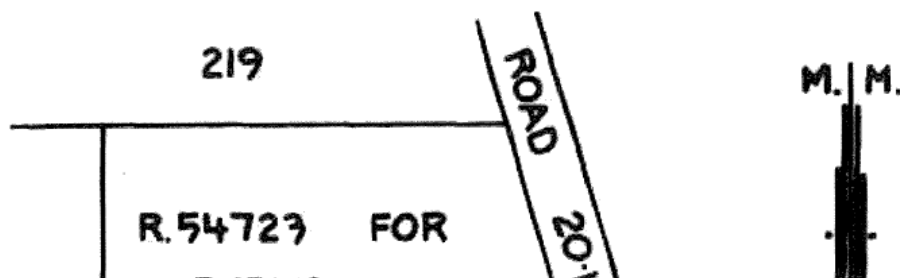
No. 150010, Parish Noorong, County Wakool, area 1.694 hectares being portion 48. HY86 H 393.

No. 120019, Parish Mudgee, County Wellington, about 130 hectares, being the land bounded by portions 132, 237, 181, 386, 364, 356 and 351 and part of Avisford Nature Reserve at Mudgee. DB85 H 368.

FOR BUSH FIRE BRIGADE PURPOSES

Land District—Gosford; Shire—Wyang

No. 170034, Parish Wyong, County Northumberland, about 640 square metres being the land shown by hatching on the diagram hereunder.



Government Gazette of the State of New South Wales (Sydney, NSW : 1901 - 2001), Friday 23 January 1987

LANDS DEPARTMENT <hr/>	
(5830)	Sydney, 23rd January, 1987.
APPOINTMENT OF TRUSTEES	
IN pursuance of the provisions of section 370, Crown Lands Consolidation Act 1913, the undermentioned persons are appointed to be trustees of the reserve particularized hereunder for the term shown.	
J. R. HALLAM, Minister for Lands. <hr/>	
Reserve 120019 for Public Recreation at Mudgee, notified this day. Trustees appointed Edward Patrick McAnespie, John Joseph Sidoti and John Gordon Markey. Appointed for a term commencing this day and expiring 31st December, 1991. DB85 H 368. <hr/>	

DUBBO LANDS OFFICE
 142 Brisbane Street
 P.O. Box 865
 Ph. (068) 81 1222
 FAX (068) 81 1289

INCORPORATION OF RESERVE TRUSTEES

IT is hereby notified pursuant to the provisions of section 37Q of the Crown Lands Consolidation Act 1913, and in respect of the lands hereunder described that—

- (a) the trustees of the reserves shown in column 1 of the schedule hereunder, and their successors in office, are declared to be a corporation; and
- (b) the corporation is assigned the name shown in column 2 opposite each reserve specified in column 1.

J. R. HALLAM, Minister for Lands.

Sydney, 6th March, 1987.

Column 1		Column 2	Date of Notification	Parish	County	Land District	File
Reserve No. or Dedication	Purpose	Location					
97620	For non-profit making organization	Dubbo	14th December, 1984	Murrumbidgee	Lincoln	Dubbo	DB83 R 170
97792	For non-profit making organization	Dubbo	17th May, 1985	Oxley	Gordon	Dubbo	DB84 R 87
Dedicated 12/8/19	For public recreation and raccourse	Gulgong	22nd January, 1960	Guntawang	Phillip	Mudgee	DB81 R 179
	For public recreation	Mudgee	23rd January, 1987	Mudgee	Wellington	Mudgee	DB85 H 368

Department of Lands

DUBBO
LAND OFFICE
142 Brisbane Street
P.O. Box 865
Ph. (068) 81 1222
FAX (068) 81 1289

ESTABLISHMENT OF RESERVE TRUST

Pursuant to section 92(1) of the Crown Lands Act 1989, the reserve trust specified in Column 1 of the Schedule hereunder is established under the name stated in that Column and is appointed as trustee of the reserve specified opposite thereto in Column 2 of the Schedule.

GARRY WEST, M.P.,
MINISTER FOR LANDS AND FORESTS.

SCHEDULE

COLUMN 1

Mudgee Recreation (R 120019)
Reserve Trust

COLUMN 2

Reserve No. 120019 for the public purpose of
Public Recreation notified in the Gazette of 23rd
January, 1987. File No. D890 R 78

APPOINTMENT OF CORPORATION TO MANAGE RESERVE TRUST

Pursuant to section 95 of the Crown Lands Act 1989, the corporation specified in Column 1 of the Schedule hereunder is appointed to manage the affairs of the **reserve** trust specified opposite thereto in Column 2, which is trustee of the **reserve** referred to in Column 3 of the Schedule.

GARRY WEST, M.P.,
MINISTER FOR LANDS AND FORESTS.

SCHEDULE 1

<u>COLUMN 1</u>	<u>COLUMN 2</u>	<u>COLUMN 3</u>
The Council of the Shire of Mudgee.	Mudgee Recreation (R 120019) Reserve Trust.	Reserve No. 120019 for the public purpose of Public Recreation notified in the Gazette of 23rd January, 1987. File No. D890 R 78


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National Native Title Tribunal

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FUTURE ACTS

INDIGENOUS LAND USE AGREEMENTS

NATIVE TITLE CLAIMS

ASSISTANCE

SEARCH THE REGISTERS & APPLICATIONS

Search this site...

Search Register of Native Title Claims

Search National Native Title Register

Search Register of Indigenous Land Use Agreements

Search Applications and Determinations

Search Future Act Applications and Determinations

Search Register of Native Title Claims

The Register of Native Title Claims (RNTC) contains information about all claimant applications that have been registered. The Registrar is responsible for maintaining the RNTC.

Further information about the RNTC is available.

Tribunal file no.

Federal Court file no.

Application name

State or Territory

Representative A/TSI body area

Local government area

Date filed between

Sort by

New South Wales

Mid-Western Regional Council

Date filed

Search

Your search returned 3 matches.

Application name	Date filed	Tribunal file no	Federal Court file no	Date claim entered on register
Warrabinga-Wiradjun #7	31/08/2018	NC2018/002	NSD857/2017	22/11/2018
Warrabinga Wiradjun #6	12/10/2016	NC2016/005	NSD1786/2016	08/11/2016
Gomerioi People	20/12/2011	NC2011/006	NSD37/2019	20/01/2012

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Search Register of Native Title Claims

Search National Native Title Register

Search National Native Title Register

The National Native Title Register (NNTR) is a register established under s. 192 of the *Native Title Act 1993* (Cth).

Search Register of Indigenous Land Use Agreements

The NNTR contains determinations of native title made by:

- the High Court of Australia
- the Federal Court of Australia
- or a recognised body such as South Australia's Supreme Court and Environment Resources and Development Court.

Search Applications and Determinations

Further information about the NNTR is available

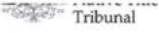





Search Future Act Applications and Determinations

Tribunal file no.	<input type="text"/>
Federal Court file no.	<input type="text"/>
Short name	<input type="text"/>
Case name	<input type="text"/>
State or Territory	New South Wales <input type="button" value="v"/>
Registered Native Title Body Corporate*	<input type="text"/>
Representative A/TSI body area	<input type="text"/>
Local government area	Mid-Western Regional Council <input type="button" value="v"/>
Determination type	ALL <input type="button" value="v"/>
Legal process	ALL <input type="button" value="v"/>
Determination outcome	ALL <input type="button" value="v"/>
Determination date between	<input type="text"/> and <input type="text"/>
Sort by	Determination date <input type="button" value="v"/>
<input type="button" value="Search >"/>	

*Please note: current contact details for the Registered Native Title Body Corporate are available from the Office of the Registrar of Indigenous Corporations www.oric.gov.au

Your search returned **1** matches.

Short name	Case name	Legal process	Determination date	Outcome
Hudjee Local Aboriginal Land Council	Hudjee Local Aboriginal Land Council v Attorney General of NSW	Unopposed	27/06/2013	Native title does not exist

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[FUTURE ACTS](#)
[INDIGENOUS LAND USE AGREEMENTS](#)
[NATIVE TITLE CLAIMS](#)
[ASSISTANCE](#)
[SEARCH THE REGISTERS & APPLICATIONS](#)

[Search Register of Native Title Claims](#)
[Search National Native Title Register](#)
[Search Register of Indigenous Land Use Agreements](#)
[Search Applications and Determinations](#)
[Search Future Act Applications and Determinations](#)

Search Register of Indigenous Land Use Agreements

Under the *Native Title Act*, the Registrar is responsible for maintaining the Register of Indigenous Land Use Agreements (ILUAs), which contains information about ILUAs that have been accepted for registration. The register entry for each ILUA must include:

- a description of the area covered by the agreement
- the name of each party to the agreement and the address at which the party can be contacted
- if the agreement specifies the period during which it will operate — that period
- if the agreement includes any statements regarding extinguishment, the validation or doing of future acts, contracting out of the 'right to negotiate' provisions of the *Native Title Act*, or changing the effect of 'intermediate period acts' on native title — a reference to that fact, setting out any such statements

The Registrar must remove details of the ILUA from the Register if:

- there is an approved determination of native title over the ILUA area and certain conditions exist, and the Court has not ordered that the ILUA should remain on the Register
- a party tells the Registrar in writing that the agreement has expired
- all parties tell the Registrar in writing that they wish to terminate the agreement
- the Federal Court orders the Registrar to remove the details of the agreement

If you have a question about a particular ILUA, please contact the parties to the agreement identified on the register extract for the ILUA. If you need assistance searching the Register of ILUAs, please email iluas@nntt.gov.au

Tribunal file no.

ILUA name

ILUA type

State or Territory

Representative A/TSI body area

Subject Matter

Date registered between

Sort by

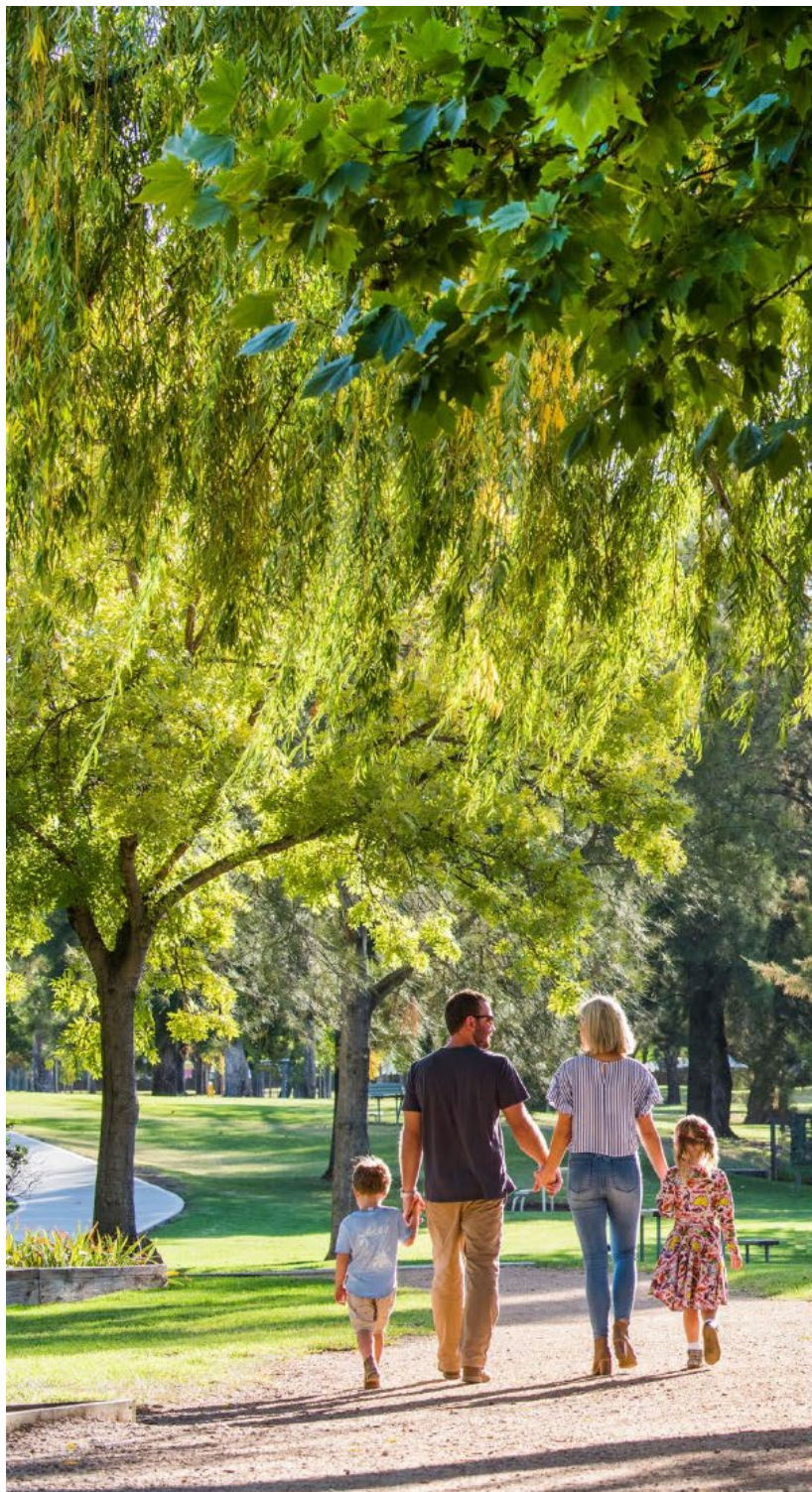
Search >

Your search returned **24** matches.

ILUA name	ILUA type	Subject matter(s)	Tribunal file no.	Date registered
St Ives Pistol Club and Awabakal and Guringai People and Ors ILUA	Area Agreement	Access, Development	NI2020/001	01/09/2020
Cavenbah (Byron Bay) Arakwal Indigenous Land Use Agreement	Area Agreement	Native Title Settlement, Access, Community, Consultation protocol	NI2019/005	20/05/2020
Buronga HealthOne ILUA	Body Corporate	Government, Development	NI2019/006	04/03/2020
Copmanhurst Projects ILUA	Area Agreement	Mining, Infrastructure	NI2019/001	04/10/2019
Barkandji Single Dealings ILUA	Body Corporate	Extinguishment, Tenure resolution	NI2019/004	10/09/2019

Barkandji RNTBC Keltren ILUA	Body Corporate	Extinguishment, Not specified	NI2019/002	30/07/2019
Yaegl Interim Licences ILUA	Body Corporate	Native Title Settlement, Not specified	NI2018/006	20/11/2018
Barkandji Interim Licences ILUA	Body Corporate	Not specified	NI2018/007	20/11/2018
Bandjalang Interim Licences ILUA	Body Corporate	Not specified	NI2018/008	20/11/2018
Gumbaynggirr (Boney) Settlement ILUA	Area Agreement	Extinguishment, Native Title Settlement	NI2018/004	26/07/2018
Gumbaynggirr Wenonah Head ILUA	Area Agreement	Native Title Settlement, Tenure resolution	NI2018/005	26/07/2018
Barkandji Appin Station ILUA	Area Agreement	Native Title Settlement	NI2018/002	13/07/2018
Barkandji Weintenga and Yobel Station ILUA	Area Agreement	Native Title Settlement	NI2018/003	13/07/2018
Western Bundjalung Settlement ILUA	Area Agreement	Government, Consultation protocol, Tenure resolution	NI2018/001	12/07/2018
Tubba-Gah ILUA	Area Agreement	Native Title Settlement, Co-management	NI2015/001	12/01/2016
Gundungurra Area Agreement	Area Agreement	Native Title Settlement, Consultation protocol	NI2014/001	27/02/2015
Cubbitch Barta Clan of the Dharawal People Indigenous Land Use Agreement	Area Agreement	Access	NI2010/001	16/03/2011
Bundjalung People of Byron Bay (ILUA 2)	Area Agreement	Co-management, Consultation protocol, Extinguishment	NI2006/004	22/04/2008
Ti Tree Lake (Taylor's Lake) (ILUA 3)	Area Agreement	Co-management, Consultation protocol	NI2006/005	22/04/2008
Gundungurra Taralga Wind Farm Agreement	Area Agreement	Development, Commercial	NI2006/002	13/12/2007
Githabul People ILUA	Area Agreement	Access, Co-management, Consultation protocol, Extinguishment, Terms of Access	NI2006/001	15/08/2007
Twofold Bay	Area Agreement	Infrastructure, Transport	NI2001/003	29/04/2002
Powercoal Pty Ltd, Victor Perry, Stephen Seiver & NSW ALC ILUA Area Agreement	Area Agreement	Mining, Large mining	NIA2000/001	29/08/2001
Bundjalung of Byron Bay (Arakwal)	Area Agreement	Development, Community	NIA2001/001	28/08/2001





FLIRTATION HILL MASTER PLAN

FLIRTATION HILL, MUDGEE
NSW 2850

11 MARCH 2021

MID-WESTERN REGIONAL COUNCIL
OPEN SPACES

■ ■ ■ ■ ■ TOWARDS 2030



THIS DOCUMENT HAS BEEN PREPARED BY THE FLIRTAION HILL WORKING GROUP, FOR MID-WESTERN REGIONAL COUNCIL.

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1. Introduction

1.1 Purpose of a masterplan

The purpose of this master plan is to provide a dynamic long term planning document and conceptual layout to guide future growth and developments at the Flirtation Hill Mudgee reserve. This includes what the reserve should look like and how it should function into the future.

The masterplan is to consider the following:

- Analysing the current character and functionality of the reserve
- Identifying any emerging issues, public expectations and desires for the reserve
- Develop a phasing and implementation schedule and identify priority actions

The potential development and improvement of Flirtation Hill ('The Pines') offers the Mudgee community the opportunity to enhance the recreational value of the green zone however also a very valuable chance to boost the ecological assets.

1.2 Methodology

A highly consultative methodology has been applied in the preparation of this document.

In December 2020, Mid- Western Regional Council commenced work on preparing a draft Master Plan for Flirtation Hill, a Council managed reserve located on south-west of the Mudgee CBD. As part of the preparation of this plan, Council established a working party that included interested Councillors and community members. Community members were invited to register their interest through an expression of interest process managed by Councils Community directorate.

Council is intending to conduct further community and stakeholder engagement activities. This includes the draft plan being placed on public exhibition, engaging the local Aboriginal Land Council and other interested authorities.

The flirtation Hill Mudgee masterplan project comprised of three stages being:

- Stage one- Research and Working Group engagement
- Stage two- Mid-Western community engagement
- Stage three- Final report

1.3 Recommendations

The planning process has identified the following actions as key to progressing the development of the Flirtation Hill Mudgee reserve. There is no priority set out in the list below:

- The establishment of planned precincts to provide for non-conflicting recreational precinct within the reserve
- Installation of a viewing platform
- Parking infrastructure and traffic management
- Develop resources to support for, but not limited to the following activities
 - recreational walking
 - children's bush setting natural adventure playground
 - active recreational and boot camp style exercise
 - recreation and respite opportunities and activities for those with dementia and disabilities
- Establish and commence an exotic weed removal program
- Install a raw and potable water supply system to support the maintenance and installation process
- Establish a planned native plant resource that will support biodiversity and become an acknowledged local and tourism asset
- Plan and commence the replacement of the dominant pine species with endemic and other native species
- Install refuse bins that exclude access by birds and other scavenging animals
- Amenities facilities
- Picnic and BBQ facilities
- Sensory garden tracks, infrastructure and facilities to support caring for those with dementia and disabilities and their careers
- Create interpretation resources and other signage that supports and informs the reserve users
- Install access management infrastructure to prevent unauthorized vehicle entry
- Continue to engage the community in the planning and progress of the project
- Install street and access lighting to assist in the security and overall safety of the reserve
- Creation of stepped and staged mini wetlands to clean and stabilize water run off and enhance biodiversity
- Ensure that all works, and activities directly benefit community use, enhance the tourism value and provide positive biodiversity outcomes
- Assess and establish the most appropriate location for the existing War Memorial within the planned site developments
- Consult and include local Indigenous members (where possible)

2. Site Analysis

2.1 Context and Current Uses

This master plan focuses primarily on the Flirtation Hill Mudgee reserve with minor reference to the Mudgee showground.

Flirtation Hill is a public reserve located in the south western portion of Mudgee, and was gazette for public purpose of public recreation in 1886. The site is bounded by the streets Douro, Nicholson and Madeira. The site is Crown Land and is approximately 14.8 hectares (ha) in area.

As a result of the site's elevation above the town it has a reservoir and lookout near its apex. Otherwise the site is largely undeveloped with the reserve is mainly used by dog walkers, joggers and mountain bike riders, with many people also visiting the site to appreciate the view from the lookout. There is also a war memorial at the apex of the site. Over recent times the site has been subjected to anti-social behavior and development pressures.

The location of the site within Mudgee is shown in Figure 1. Figure 2 identifies the main elements within the site whilst Figure 3 reveals site contour lines.

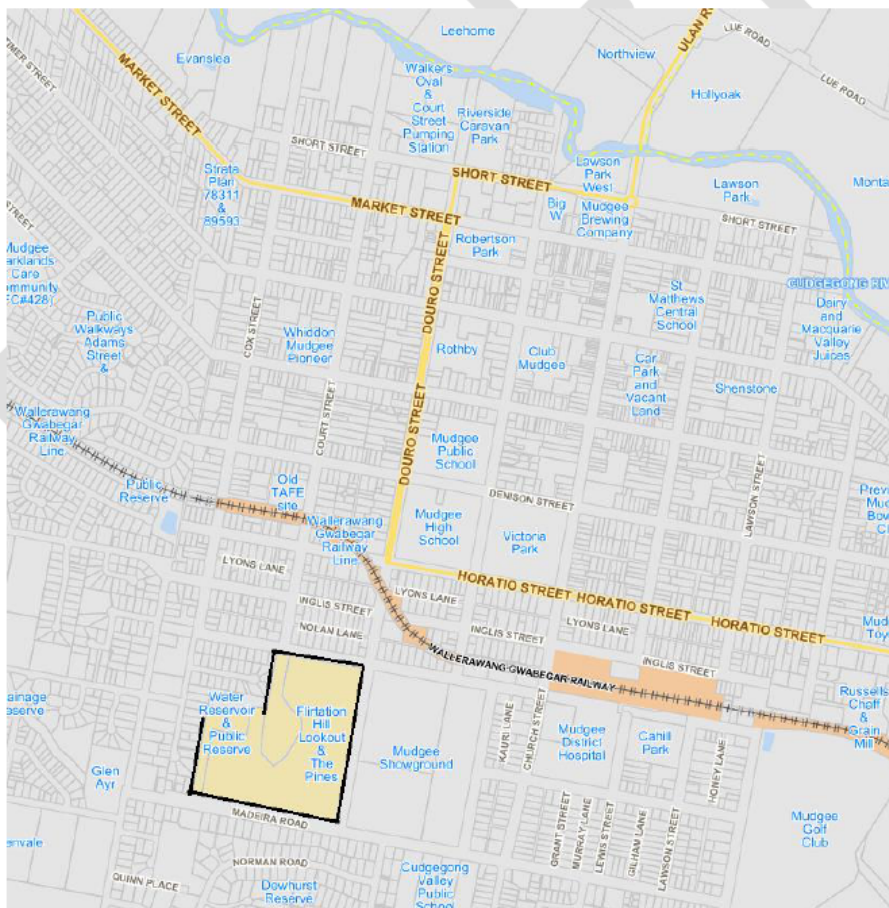


Figure 1. Location of Flirtation Hill Mudgee

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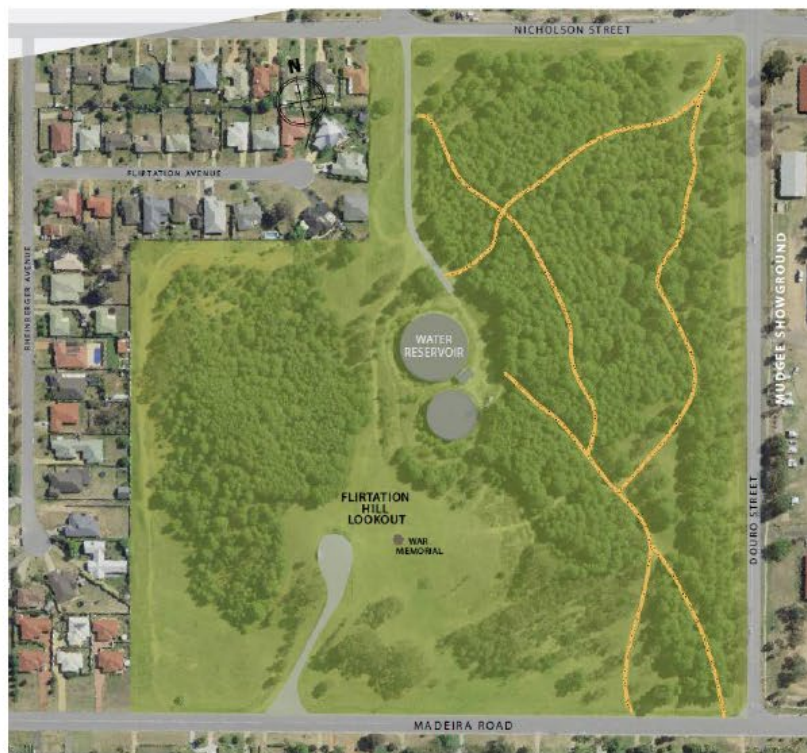


Figure 2: Flirtation Hill Mudgee layout

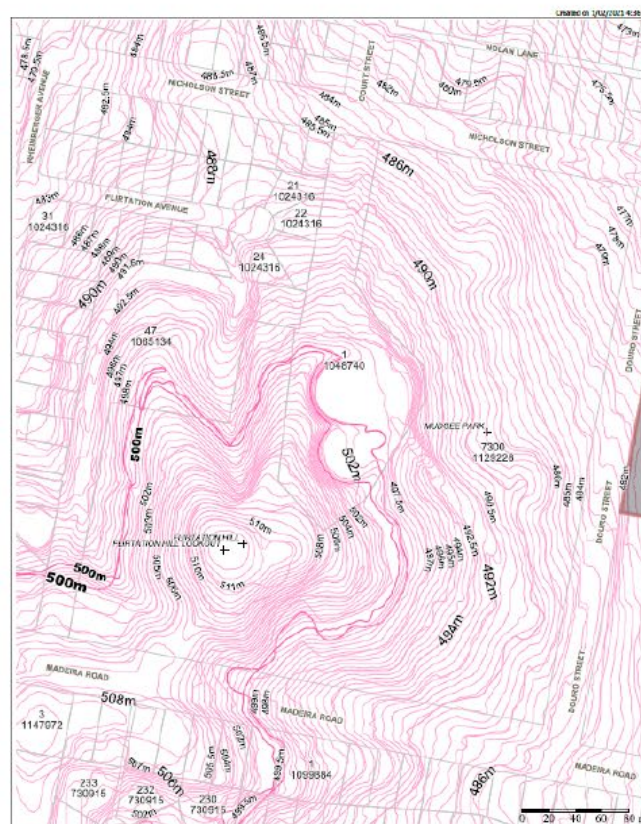


Figure 3: Contour map of Flirtation Hill

2.2 Indigenous Heritage

Searches of the Aboriginal Heritage Information Management System (AHIMS) revealed no registered sites of indigenous cultural heritage and the site has a history of disturbance. Consultation with indigenous community representatives as part of planning processes will ensure opportunities for inclusion and input into desirable spaces and functioning at the redeveloped Flirtation Hill.

2.3 Existing Biodiversity

Previous flora and fauna surveys (Eco Logical Australia (ELA), Ecological Assessment 2019 and 2020) have ascertained that the site predominantly consists of exotic vegetation mainly Aleppo pines (*Pinus halepensis*) or introduced grasses. Small areas of native vegetation exist, identified as white box shrubby open forest (Plant Community Type (PCT) 273) in either a good condition or a derived (predominantly grassy) state. This remnant native vegetation has a selection of typical species including white box (*Eucalyptus albens*), mugga ironbark (*E. sideroxylon*) trees; shrubby hop bush (*Dodonaea* spp.), hickory wattle (*Acacia implexa*) and cough bush (*Cassinia laevis*); and sparse ground covers such as purple wiregrass (*Aristida ramosa*), threeawn speargrass (*A. vagans*) and kidney weed (*Dichondra repens*).

There are patches of planted native vegetation with tree species consisting of yellow box (*E. melliodora*), Blakely's red gum (*E. blakelyi*), sugar gum (*E. cladocalyx*), mugga ironbark (*E. sideroxylon*) and Belah (*Casuarina cristata*) (Figure 4). The majority of the site, approximately 80%, consists of exotic vegetation, with a breakdown of the various types of vegetation shown in Table 1 and Figure 4.

Table 1: Flirtation Hill – Broad vegetation classification (data: ELA 2019)

Vegetation Type	Area (ha)	Proportion of site (%)
Remnant native (PCT 273) – derived	0.77	5
Remnant native (PCT 273) – woodland	0.23	2
Planted native	1.04	7
Exotic pines	8.03	54
Exotic grassland	3.57	24

The prevalence of the exotic Aleppo pines (*Pinus halepensis*) has produced a monoculture across the majority of the site, largely excluding the growth of other plant species (Figures 4). The density of the pine trees and relatively closed canopy, limits light infiltration, reducing prospects for diversity underneath the canopy. Some ecologically important species do however utilise the site in its' existing condition. The endangered small purple-pea (*Swainsona recta*) population is probably the most important example (Figure 5). The yellow-tailed black cockatoo (*Zanda funerea*), while not of concern from a conservation status viewpoint, also commonly utilise the site.

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Figure 4: Classes of vegetation at Flirtation Hill (ELA 2019).



Figure 5: Small purple-pea (*Swainsona recta*) occurrence and habitat features (ELA 2020).



Figure 6: Areas to be preserved in conjunction with future development.

The site does not contain any endangered ecological communities (EEC) however, a population of small purple-pea (*Swainsona recta*) exist in the reserve's western and south western zones (Figure 5). The presence of the small purple-peas limits the potential scope of development or disturbance near their location as they are listed as endangered in both NSW (BC Act) and Commonwealth (EPBC Act) legislation and all possible impacts should be avoided.

Based on the Koala Habitat Protection State Environmental Planning Policy (SEPP) 2020, the site does not contain even 'potential' koala habitat. White box (*E. albens*) trees are listed as feed tree species, in the SEPP, but they do not exist at the site in numbers large enough to provide potential koala habitat.

Small purple-pea (*Swainsona recta*) originally occurred in the grassy understorey of woodlands and open-forests dominated by Blakely's red gum (*E. blakelyi*), yellow box (*E. melliodora*), Candlebark gum (*E. rubida*) and long leaf box (*E. goniocalyx*). It often grows in association with understorey plants like Kangaroo grass (*Themeda triandra*), poa tussocks (*Poa* spp.) and spear grasses (*Austrostipa* spp.). Pea plants tend to die back in summer, with a flowering period throughout spring, making that the best time of the year to survey for their presence. Loss and degradation of their habitat, through clearing and grazing, is a major cause of the reduction in their numbers and range.

Impacts from weed invasion, particularly exotic grasses, bridal creeper and St John's wort - all of which occur at Flirtation Hill, also negatively affect the small purple-pea. Actions that can assist in plant population stability and enhancement are physical and chemical control of major weeds and reducing the frequency and intensity of disturbance. The abundance and condition of the plants in the population should be regularly monitored and if plants exist in a position potentially threatened by erosion then corrective action should be taken to control erosion.

Future plans for development should consider the existing biodiversity values in conjunction with desirable ecological improvements. Proposals need to maintain as much of the existing native vegetation as possible (Figure 6). There is also a need to preserve all existing trees with hollows as they are very valuable habitat for a variety of wildlife species (Figure 5). Retention of some quantity

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of woody debris with site works should also be a significant consideration as many animals require such resources to complete their life cycle.

2.4 Site Photos



Figure 7: Planted native vegetation.



Figure 8: Exotic grassland and monoculture of alepo pines



Figure 9: Ongoing conservation and management of small purple-pea populations



Figure 10: Closed canopy and lack of ground level vegetation.



Figure 11: District views from the apex of Flirtation Hill.



Figure 12: War memorial

3. Masterplan

3.1 Vision

The vision for the Flirtation Hill Mudgee reserve is suggested to be:

‘To create a valued community asset and safe recreation space for all community members to enjoy’.

3.2 Objectives

There are a number of key objectives Council wishes to achieve as a result of the master plan.

Objective	Comments and Implications for Masterplan
Improve the view of the park from within the reserve	<p>Flirtation Hill provides for an elevated view of the town, the Cudgegong Valley, and the ranges. These views are spectacular and change with seasons and time of day. On a clear night the stars and Milky Way are spectacular and lights of town provide an enchanting site.</p> <p>The pines in the plantation have reached a height that impacts the view in several directions. It is proposed to construct a viewing platform at the crest of Flirtation Hill. This will undoubtedly enhance viewing opportunities.</p> <p>Immediate improvement would result from the staged removal of the plantation pines. This action would provide for the first stage of a revegetation process where the pines can be replaced with local and other native species that will directly target and improve the biodiversity on the site.</p> <p>It is recommended that species and mature heights be matched to the topography in order to maintain visibility from the platform. Vegetation colour, texture and flowering will in future add to the experience over time.</p>
Reduce antisocial behaviour, improve the amenity and utilization of the reserve	<p>The reserve presents a unique opportunity to establish a vibrant, targeted recreation area close to Mudgee town centre. Mudgee has become a key tourist destination in NSW and demands on available recreation resources are constantly escalating. Progressive removal of the pines and treatment of environmental and other weeds followed by themed planting and regeneration of local native species will ensure that the reserve becomes increasingly attractive to locals and tourists.</p> <p>The reserve in its current state is deemed to be thoroughly underutilized and current uses and users are in fact a deterrent to visitation and use by the broader community. This is exemplified by the attendance of police to rowdy gatherings, vehicle burnouts and alcohol fuelled anti-social behaviour, particularly at night. Recent</p>

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	<p>arrests of the occupants of vehicles exiting Flirtation Hill, for drug possession, trafficking and even firearm offences further exemplify the need for proactive action to expand the social context of the reserve as a whole.</p> <p>It goes without saying that families, groups and individuals, be they local or visitors, are alienated by what has historically been viewed as tolerated behaviour. A decline in standards emanates from past cultural acceptance, historical beliefs and practices and community apathy resulting from previous inaction or investment. An organic factor affecting the culture of current usage is that the reserve was once rural land bordering the town and was where unmitigated behaviour and activities were seen as part of a cultural rite of passage. Contrastingly, the site is now close to being the geographical centre of a growing regional service and tourist locality where modern expected norms directly conflict with the past.</p> <p>This Master Plan will dramatically improve the amenity and utilization of reserve by:</p> <ul style="list-style-type: none"> ■ Developing precincts for varied and non-conflicting activities ■ Securing boundaries and access ■ Providing supporting infrastructure such as amenities buildings and safe parking ■ Declaring the entire reserve to be an alcohol-free zone ■ Developing a community culture that broadens and strengthens the fabric of community ownership and pride
<p>Resolve vehicle movement and parking issues in the reserve and adjacent showground</p>	<p>Access to the Showground and the necessary parking requirements to support major functions in the precinct has been a long-standing issue. The current ad hoc and disorganised parking arrangements present a significant public safety risk.</p> <p>This Master Plan proposes to set aside land on the eastern side of the reserve to address this issue. Primarily, the proposal provides for safe access and egress to a managed surface that is buffered and delineated from the reserve and Douro Street. Design and siting of the carpark will focus on limiting and addressing its visual impact. It will be critical that the context of open space is not compromised by masses of permanent, inert hard surfaces.</p> <p>Additional outcomes derived from this proposal will be the provision of safe access and parking for the use of the reserve precincts providing for children's play, physical exercise and passive walking tracks.</p> <p>Environmental issues of progressive erosion, sediment control and runoff water quality will be addressed in a designed structured setting. Retention of the <i>Eucalyptus sideroxylon</i> will provide shade and a foundation for the transition to native species and resultant improvements in biodiversity.</p>

<p>Protect and enhance the social, environmental and heritage values of the reserve</p>	<p>Flirtation Hill is a well-recognized location both physically and socially. The concepts of social and community ownership are evident although somewhat secular.</p> <p>There is a War Memorial located on the crown of the reserve. Whilst it appears that this is not dedicated land it does hold significance within the community. Any impact or potential relocation will require community consultation and to some extent approval.</p> <p>The site was planted with exotic pine species by the Lions Club many years ago. Investigations have revealed that this has turned out to be a misguided commercial venture and has no cultural or community attachment.</p> <p>Past photographs of the site indicate it was subject to major earthworks prior to the pines being planted. These works included major contour bank construction. This coupled with the works associated with the Town water reservoir severely limits the likelihood of the discovery of Aboriginal Cultural Heritage material. Nevertheless, it is recommended that an Aboriginal Heritage Impact Permit (AHIP) be sought prior to any works being commenced. This process will require consultation with interested Indigenous representatives and groups.</p> <p>The site holds significant environmental value due to the existence of a notable population of the plant <i>Swainsona erecta</i>. This species is listed as threatened and any works must account or the sustainability of this population.</p> <p>It is noted that the pines provide a food source for a flock of some 30+ yellow tailed black cockatoos. This species is not listed as threatened on a state or commonwealth level. However local populations are coming under increasing pressure form land clearing and environmental degradation. The birds are somewhat migratory and it is clear that this site is relied upon as a food source when young are fledged. The population was notably evident for longer periods during the recent drought.</p> <p>Any transition to species replacement must include significant numbers of natural food sources for the cockatoo such a casuarina species. In addition, transition must be over time and provide for maturity of the food resource. These cockatoos are a recognized component of Mudgee urban biodiversity resources.</p> <p>In broader terms the pine monoculture generally provides for an inert and extremely limited range bird animal and vegetation diversity. There is a notable population of weed species emanating from urban gardens. Privet, cotoneaster, African boxthorn and wild rose are notable throughout the site.</p>
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<p>Consult with those that have an interest in the reserve so that community needs and views can be determined and accommodated where possible</p>	<p>Council has for some time been cognizant of the antisocial and other inappropriate behaviour on Flirtation Hill. It has responded to local resident complaints and consulted individually with concerned residents. Council has invested and installed barriers, speed bumps and signage and has increased its active maintenance over the past year.</p> <p>In response to increased community concern and representations from elected Councillors, Council resolved to develop this Master Plan with the view to establishing a long-term commitment to the upgrading of the site. As a component of the planning process Council advertised and initiated a community consultation process to engage with all interested parties and seek input and take direction in developing the future plans for Flirtation Hill.</p> <p>Council received a positive response from the community to it open invitation to participate. A working group has been established consisting of a cross section of local residents, Councillors and others with an interest. The group held 3 meetings and has provided valuable and positive input to the planning process.</p>
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3.3 Concept Plan

FLIRTATION HILL - MUDGEE DRAFT MASTERPLAN

VISION

To create a valued community asset and safe recreation space for all community members to enjoy.

OBJECTIVES

- To enhance the viewing vista at the peak of the reserve
- Reduce anti-social behaviour, improve the amenity and utilisation of the reserve as an access for all facility
- Resolve any vehicular access and parking issues within the reserve and adjacent showground
- To protect and enhance the social, environmental and heritage value of the reserve
- To consult with those that have an interest with the reserve so that community needs and views can be determined and accommodated where possible

KEY

-  'THE PINES' PUBLIC RESERVE
-  EXISTING PATHWAYS



VERSION 3 DATE: 21/04/2021

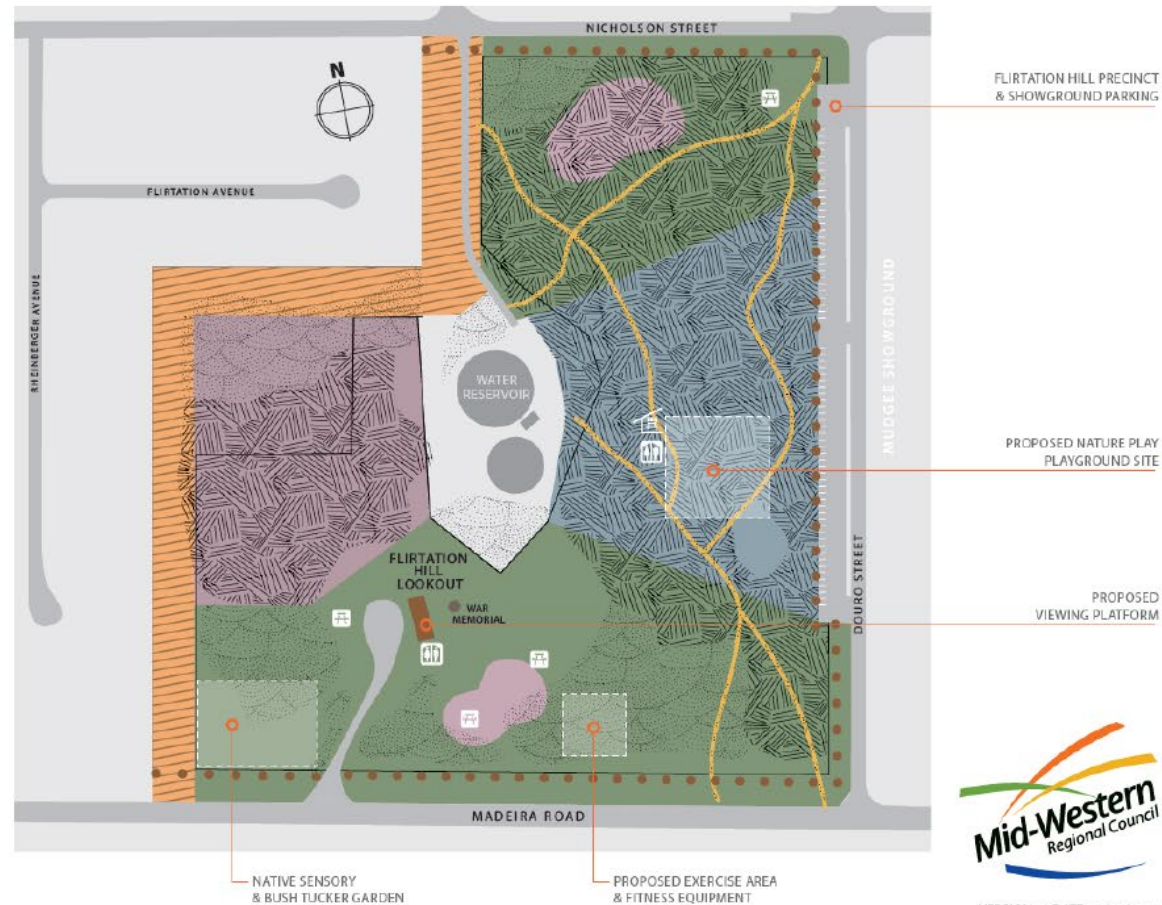
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FLIRTATION HILL - MUDGEES DRAFT MASTERPLAN

KEY FEATURES

- Enhanced viewing area & memorial garden
- New nature play space and nature trail
- Passive Park zones including BBQ facilities
- Dedicated exercise areas
- Improved pathways for walking and running
- Designated Conservation Zones
- Amenities
- Bollards for user and environmental protection
- Dedicated parking for both The Flirtation Hill precinct and Mudgee showground.

- PASSIVE ZONE
- NATURE PLAY ZONE
- CONSERVATION ZONE
- FIRE BREAK
- EXISTING NATIVE VEGETATION
- ESTABLISHED PINES
- EXISTING PATHWAYS
- PROPOSED BOLLARDS
- LOT BOUNDARY

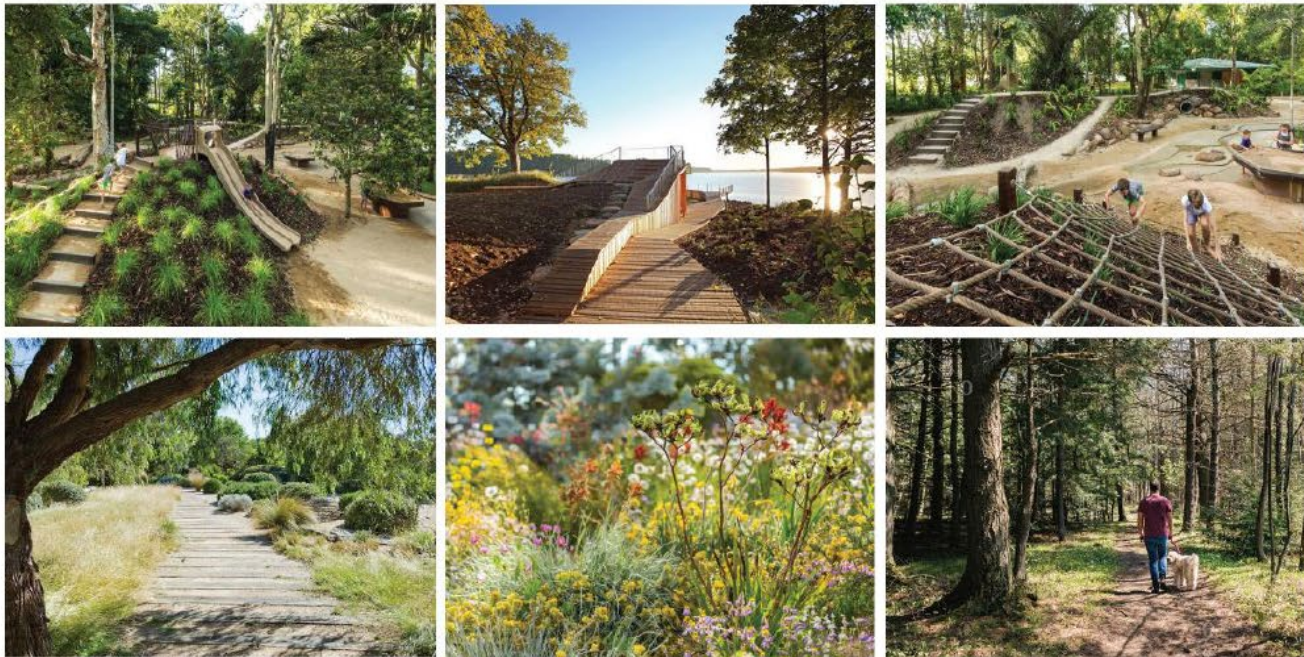


VERSION 2 DATE: 21/04/2021

FLIRTATION HILL - MUDGEES

DRAFT MASTERPLAN

CONCEPT EXAMPLES



CONSERVE EDUCATE SOCIALISE EXERCISE CLIMB BUILD PLAY GET DIRTY



VERSION 2 DATE: 21/04/2021

3.4 Masterplan Notes

Design Intent

Key aspects of the design process include:

- Multi-functional and flexible space, allowing the space to evolve and adapt to meet the changing needs and aspirations of the community
- Promote health and wellbeing and a safe public open space
- Promote design for open space that connect people with the natural environment in all development types and locations
- Perform varying functions beyond simply the recreation area, including integrating stormwater detention during peak storm periods

Potential Biodiversity

To have informed design and planning, biodiversity goals and constraints should be incorporated early in the design process as they will influence both the overall concept and the necessary pathway to achieve the adopted proposal. The proportion of the site that would be dedicated to conservation or biological values will eventually result from community consultation and allocation of land area to satisfy demands of conflicting activities. Many conservation zones will be able to be utilised for passive recreation, walking, bird-watching, sensory exposure and for education purposes. The benefit of conservation zones will be improved environmental outcomes, increased abundance of birds and animals and beautification, augmenting a valuable community asset while encouraging visitors and locals alike to visit Flirtation Hill more frequently.

Potential biodiversity goals may include:

- Creation of conservation zones
- Small purple-pea protection
- Improving habitat
- Incorporating wetlands
- Transition in stages

Potential Biodiversity Goal	Comments and Implications for Masterplan
Creation of conservation zones	<p>Conservation zones will assist in maintenance of the small purple-pea population. They would be areas where native vegetation predominates and where there is little ongoing disturbance. All existing native vegetation should be conserved in this semi urban landscape as its maturity makes it relatively more valuable than regenerating areas, with newly planted vegetation. Passive, non-destructive, recreational activities could be undertaken in these areas.</p> <p>Some areas could also be set aside to potentially keep pines, especially where the existing small purple-pea plants are established (an area that should not be disturbed). There could be an avenue of pines or perimeter walking track with pines bordering it. This would maintain links to the history and heritage of the site and would justify still calling it 'The Pines'.</p> <p>The process of creating new conservation areas should use selective felling of pine trees and small equipment rather than large earthmoving equipment, to limit damage to soil structure and existing vegetation.</p>

	<p>This will also allow greater discrimination as to which pines are removed with the capacity to reserve some pines, while other native trees and understorey plants are establishing. Gradual pine removal will help to smooth transition stresses for animals that have grown accustomed to using existing site resources, to satisfy their needs.</p>
Sustain and bolster small purple-pea population	<p>To protect the small purple-pea plants, areas where they exist should be fenced off from vehicular traffic. There should be no ground disturbance and no removal of pines in the vicinity of the small purple-pea plants.</p> <p>Mowing and grounds maintenance activities should only be undertaken when the plants are not actively growing, flowering or fruiting (March to June). Careful weed management should be undertaken, to reduce competition from exotic perennial grasses and other priority weeds.</p> <p>Consultation with a botanical organisation and or the NSW Saving Our Species (SOS) program may be able to assist with research or activities to protect and preserve the small purple-pea plants. Botanical specialists may be able to harvest seeds, keep some in long term cold storage and also develop propagation programs. Permanent monitoring plots should be established and checked at least every five years to track the condition of the population.</p>
Improve habitat for other potentially threatened species	<p>Replacing a large number of the exotic Aleppo pines with native vegetation will make habitat more suitable for use by native fauna. The site has been identified as potentially suitable for four threatened plants:</p> <ul style="list-style-type: none"> ■ Ausfeld's wattle (<i>Acacia ausfeldii</i>), ■ Small purple-pea (<i>Swainsona recta</i>), ■ Silky Swainson-pea (<i>Swainsona sericea</i>) and ■ Hoary sunray (<i>Leucochrysum albicans</i> var <i>tricolor</i>). ■ and eight threatened animals: ■ Regent honeyeater (<i>Anthochaera phrygia</i>), ■ Dusky woodswallow (<i>Artamus cyanopterus cyanopterus</i>), ■ Spotted harrier (<i>Circus assimilis</i>), ■ Little lorikeet (<i>Glossopsitta pusilla</i>), ■ Painted honeyeater (<i>Grantiella picta</i>), ■ Barking owl (<i>Ninox connivens</i>), ■ Powerful owl (<i>Ninox strenua</i>) and ■ Koala (<i>Phascolarctos cinereus</i>). <p>Flora surveys have revealed a population of small purple-pea (<i>Swainsona recta</i>) plants but no Ausfeld's wattle (<i>Acacia ausfeldii</i>) and no sighting, to date, of Silky Swainson-pea (<i>Swainsona sericea</i>) and Hoary Sunray (<i>Leucochrysum albicans</i> var <i>tricolor</i>).</p> <p>To increase the potential for threatened fauna species to utilise the site, habitat objectives should be designed to suit the Regent honeyeater. The Regent honeyeater is a critically endangered species, both under NSW (BC Act) and Commonwealth (EPBC Act) legislation, with an extremely high risk of extinction in the wild. It is a</p>

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	<p>flagship species and efforts to regenerate habitat for it will also result in better habitat provision for numerous other threatened and declining woodland fauna. Numerous sightings have been recorded around the Mudgee, Cooyal/Munghorn Gap area, with a key breeding area in the Capertee Valley.</p> <p>The Regent honeyeater is a generalist forager, feeding mainly on eucalypts that produce abundant volumes of nectar. Key eucalypt species include mugga ironbark, yellow box and white box. Flowering of associated species like stringybark and broad-leaved ironbark can also contribute to important nectar sources, as do mistletoes (<i>Amyema miquelii</i>, <i>A. pendula</i> and <i>A. cambagei</i>) which are also utilised.</p> <p>Planning for regeneration of areas at Flirtation Hill should focus on plant species that will support feeding and foraging behaviours of the Regent honeyeater. The appropriate species suitable to enhance habitat features are those that would come from box-ironbark woodlands or grassy white box – yellow box woodlands:</p> <table data-bbox="699 904 1166 1400"> <thead> <tr> <th>Common name</th><th>Scientific name</th></tr> </thead> <tbody> <tr> <td>Mugga ironbark</td><td><i>E. sideroxylon</i></td></tr> <tr> <td>Red ironbark</td><td><i>E. tricarpa</i></td></tr> <tr> <td>Inland grey box</td><td><i>E. microcarpa</i></td></tr> <tr> <td>White box</td><td><i>E. albens</i></td></tr> <tr> <td>Yellow gum</td><td><i>E. leucoxylon</i></td></tr> <tr> <td>Yellow box</td><td><i>E. melliodora</i></td></tr> <tr> <td>Blakely's red gum</td><td><i>E. blakelyi</i></td></tr> <tr> <td>Box mistletoe</td><td><i>Amyema miquelii</i></td></tr> </tbody> </table> <p>As it currently uses the site, the needs of yellow-tailed black cockatoos should also be considered in tree species selection for regeneration / conservation areas. They feed on seeds of native trees like she-oaks (<i>Allocasuarina</i> and <i>Casuarina</i> spp.), Acacias, Banksia and Hakea species. They have also become accustomed to introduced pine species, including the Aleppo pine, which is why retention of some of the pine trees and staged replacement with the native species is recommended.</p>	Common name	Scientific name	Mugga ironbark	<i>E. sideroxylon</i>	Red ironbark	<i>E. tricarpa</i>	Inland grey box	<i>E. microcarpa</i>	White box	<i>E. albens</i>	Yellow gum	<i>E. leucoxylon</i>	Yellow box	<i>E. melliodora</i>	Blakely's red gum	<i>E. blakelyi</i>	Box mistletoe	<i>Amyema miquelii</i>
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<p>Stepped and staged wetlands/reservoirs</p>	<p>The establishment of swales and small reservoirs could both moderate and improve the quality of stormwater moving across and potentially leaving the site. Small reservoirs of water could also enhance the habitat value of the site.</p> <p>Topography and slope dictate the movement of water on land. The steeper the terrain, the faster draining it will be, and the more difficult it will be for water to infiltrate into the ground. Drainage can be</p>																		

	<p>provided on the top and bottom of slopes, and can be supplemented with terraces, to slow the path of water.</p> <p>Careful planning and implementation would be required to ensure the existing hydrology of the site is not drastically altered or established native trees may have diminished access to water and suffer premature disease and death. Other potential hazards include damage from erosive forces if check structures and ponds are poorly positioned or implemented. Swales are only suitable on moderate slopes not steep slopes like the main drainage line, draining to the north from the Flirtation Hill apex (Figure 9), which has a slope in excess of 10°.</p>
Staged transition	<p>Changing site use and remodelling large tracts of land and vegetation should take place over time, allowing gradual replacement of exotic pines with desirable native vegetation.</p> <p>It is essential to maintain some of the existing biodiversity value, while transitioning to improved native species, so that animals that have come to rely on current ecological resources are not left unsupported. This means removal of pines should take place in discrete parcels allowing establishment of replacement native tree species before any further removal of pines continues, at a later stage.</p>

Nature Play- playground

Nature Play playgrounds encourages children to interact with nature, to explore and learn about their surroundings.

Manly families do not have easy access to naturally unstructured play activities within their communities- such as rocks, logs and tunnels. A nature playground would provide children with the opportunity to engage in unstructured play activities in an outdoor setting that comprises of natural features, as opposed to convectional manufactured play equipment. It would also provide a point of difference as a destination playground for the Mid-West area.

In recent times there has been an increase in research into the benefits of nature play space. Potential benefits to the community that a nature play space would bring include:

- Encourages unstructured outdoor play, building resilience and creativity through 'risky' play
- Promotes health benefits, including cognitive, social and emotional development
- Improving children's physical developmental skills leading to improved self-confidence
- Focuses on enjoying the outdoors and exploring the simple wonders of the surroundings
- Leads to children having environmental awareness

Reserve and Showground Car Parking

The Mudgee Showground master plan highlights the need for additional formal car parking arrangements to which would compliment the need for formal carparks with increased infrastructure at the Flirtation hill precinct.



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4. Implementation Plan

4.1 Staging

The option exist to stage the implementation of the master plan. This will be considered further in an implementation/management plan which will be prepared following community consultation and masterplan adoption. Indicative options are presented in the preliminary cost estimates (as at 2021).

4.2 Preliminary Cost Estimates (2021)

Stage One

Element	Estimate (\$)
Viewing Platform	100,000
Carpark	150,000
Security Infrastructure	100,000
Exotic tree removal and replacement (staged process)	100,000
Drainage Upgrades	70,000
Sensory and Indigenous Food Garden	80,000
Water Supply- potable and raw	50,000

Stage Two

Element	Estimate (\$)
Amenities (per unit)	120,000
Exotic tree removal and replacement (staged process)	100,000
Nature Play Playground	500,000
Park Furniture and BBQ (up to 2)	75,000
Fitness Equipment	20,000
Retention Basin- wetland	50,000
Signage	10,000

4.3 Financing the Masterplan

Council is to consider allocating funding to the masterplan as part of Councils long-term strategic outlook for community projects and capital works. This includes considering the recommendations detailed in this reports when prioritising Councils overall strategic objectives and future opportunities for public recreation and open space assets.

Given the constraints around funding towards the masterplan, it is proposed that (as funds allow) the project be undertaken in two stages. High priority developments to include:

- Installation of a viewing platform at the apex of the precinct
- Security improvement to the site such as perimeter bollards and gates
- Securing water supply to the precinct
- Commencement of stage exotic tree removal and replacement
- Reviewed site drainage plan and subsequent upgrades

4.4 Scope of Components

#	Item	Action/ Comments
1	Viewing platform	<ul style="list-style-type: none"> ■ Lookout to be placed in position that maximises view to Mudgee CBD and the surrounding Cudgegong ranges ■ Built elements to be durable and where possible provide maintenance free service
2	Car parking	<ul style="list-style-type: none"> ■ Onsite parking to be made available to along eastern side of the precinct <ul style="list-style-type: none"> ○ It is envisaged that a one-way circulation road be permitted, allowing for existing native vegetation to remain ○ Accessibility carpark sections to be incorporated ○ Appropriate pedestrian crossing to showground to be included in works ■ Provision for a smaller carpark out the front of the proposed sensory garden section is also to be considered ■ Carparks to be sealed material
3	Site security- Site entry and perimeter Fencing/bollards	<ul style="list-style-type: none"> ■ Entire perimeter of the precinct is to have bollards installed to prevent unauthorised access into the site. The bollards are to be of timber material to fit into the natural landscape theme ■ Highlighted vehicle entry points are at the reservoir access road at the corner of Douro and Madeira street. Entry points are to be gated (including Nicholson St, service access to sensory garden) ■ Install street and access lightning to carparks and amenities buildings
4	Amenities Building	<ul style="list-style-type: none"> ■ Preference for two amenities building (consisting of one unisex toilet) be available within the precinct, this is to assist with precinct usage and length of stay at the park <ul style="list-style-type: none"> ○ One being around the lookout and picnic areas at the apex ○ The other around the proposed nature play playground and carpark (priority building)
5	Key Landscape Areas- Sensory Aboriginal Food War Memorial	<ul style="list-style-type: none"> ■ Sensory for Alzheimer's and other dementia/memory issues- at least two raised garden bed sections (with low height). To consist of low maintenance and drought resistant sensory plantings. Plantings to also engage and stimulate the five senses and prompt memories with plants to touch, smell and look at ■ Advise to be sought from local Indigenous members to design, layout and plantings for Aboriginal food area ■ Raised beds are to be easily accessible by people in wheelchairs and who uses walkers ■ Low maintenance and drought resistance plantings to be positioned around the war memorial to assist with making the memorial a prominent feature

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6	Water Supply	<ul style="list-style-type: none"> ■ Investigate water supply to the reserve, including raw water from nearby showground precinct ■ Potable water sources required for amenities and drinking water stations ■ Raw water to be utilised from landscaped areas
7	Path network	<ul style="list-style-type: none"> ■ Aim for all paths to be accessible and of gravel material to fit in with surrounding landscape ■ Path network to follow existing informal tracks- allowing for gentle exercise and potentially seating for longer path sections ■ Stairs and/or handrails to be considered to allow connecting proposed Douro St carpark and the apex of the hill
8	Conservation zones and improved habitat	<ul style="list-style-type: none"> ■ Designated conservation zones to be created throughout the precinct that protect existing populations of the small purple-pea population ■ Other identified areas to consist of predominately native vegetation with small pockets of existing pine populations to maintain some existing biodiversity ■ Establish planned native plant resources that support biodiversity and become acknowledged local and tourism asset ■ New conservation zones to consist of select felling of pine trees over stage process with new desirable native species selection (as highlighted in this masterplan) ■ Stage transition action plan to be developed and executed
9	Site Drainage Retention Basins- stepped and staged wetlands	<ul style="list-style-type: none"> ■ Develop precinct drainage plan to ensure existing hydrology on site is not drastically altered and appropriate erosion controls are in place ■ Establish swales and small reservoirs to improve quality of stormwater moving across site
10	Nature Play playground	<ul style="list-style-type: none"> ■ Construction of a nature play playground that promotes children to interact with nature, to explore and learn about their surrounding ■ Unstructured play activities to include feature such as rocks, logs and tunnel ■ Natural features to be utilised as opposed to convectional manufactured play equipment ■ Location of playground as highlighted on concept map
11	Picnic and BBQ facilities- Seating and tables	<ul style="list-style-type: none"> ■ Highlighted essential amenities- 2 x drinking stations, 6 x combination of sheltered and open seating that consist of a min. of 2 places for wheelchairs ■ Seating to encourage and facilitate social gatherings (where possible) ■ Provisions for up to two BBQ's are proposed to compliment playground/ passive park areas
12	Signage	<ul style="list-style-type: none"> ■ Main entrance signs at the apex, cnr Douro and Nicholson and cnr Douro and Madeira

		<ul style="list-style-type: none"> ■ Create interpretation resources and other signage that support and informs reserve users <ul style="list-style-type: none"> ○ Look to consider naming of the precinct, where possible incorporate Indigenous language ○ Consider appropriate wayfinding signage throughout infrastructure developments ○ Consider information and plant signage within reserve ■ Ensure that signage is suitable height and in large font to cater for any vision impaired ■ Promote alcohol free zone through appropriate signage locations
13	Shade	<ul style="list-style-type: none"> ■ It is important that seating and tables for sun-smart weather protection and age friendly are provided throughout designated sections of the park. Most notably the lookout area and highlighted passive park zone (provide up to 6 table shelters) ■ Mix of natural shade (importance of mature tree planting) and build shelters for instant shade protection
14	Lighting	<ul style="list-style-type: none"> ■ Lighting to be considered around major infrastructure, including amenities building, carparks and platform access ■ Solar lighting to be utilised where possible
15	Weed Removal	<ul style="list-style-type: none"> ■ Establish and commence an on-going exotic weed management program for the site
16	Waste	<ul style="list-style-type: none"> ■ Cater for bins to be installed at various focal locations through precinct ■ Bins type to ensure that excludes access by birds and other scavenging animals
17	War memorial	<ul style="list-style-type: none"> ■ Review location of war memorial in relation to planned developments to ensure that memorial remains within a prominent position at the apex
18	Exercise Equipment	<ul style="list-style-type: none"> ■ Assortment of relevant exercise equipment to be installed as highlighted on concept map (min. of 4 units)