



Business Papers 2021

MID-WESTERN REGIONAL COUNCIL

ORDINARY MEETING
WEDNESDAY 13 OCTOBER 2021

SEPARATELY ATTACHED ATTACHMENTS

*A prosperous and progressive
community we proudly call home*



ATTACHMENTS

Report 8.2	Attachment 1	Architectural Plans.....	3
	Attachment 2	Civil Plans	11
	Attachment 3	BASIX Certificate.....	21
	Attachment 4	Traffic Report.....	35
	Attachment 5	Copy of submission	67
	Attachment 6	Applicant Response to further information and Submission	69
Report 8.4	Attachment 1	Gateway Determination dated 18 May 2021	72
	Attachment 2	Amended Planning Proposal	74
	Attachment 3	Approval by DPIE to proceed to community consultation.....	100
	Attachment 4	Transport for NSW response	101
Report 8.5	Attachment 1	Planning Proposal	103
Report 9.5	Attachment 1	Community Grant	129



PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT

23 LEWIS ST, MUDGEE - LOT 1 DP56498



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Client: MICHAEL FERGUS
 Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @
 23 LEWIS ST, MUDGEE - LOT 1 DP56498
 Title: COVER SHEET
 Drawing Number: 35200 - A00
 Revision: D

drawing schedule

REV	DESCRIPTION	DATE
A 00	COVER SHEET	26.08.2021
A 01	SITE PLAN	26.08.2021
A 02	LOWER FLOOR PLAN	26.08.2021
A 03	UPPER FLOOR PLAN	16.08.2021
A 04	ELEVATIONS	26.08.2021
A 05	SECTIONS	16.08.2021
A 06	SHADOW DIAGRAMS 1	27.05.2021
A 07	SHADOW DIAGRAMS 2	27.05.2021

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2019, the Plumbing Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works:

- AS1668 – Mechanical ventilation & air conditioning in Buildings
- AS3000 – Electrical installations, buildings, structures & premises (insofar as the use applies)
- AS1428.1 – General requirements for access – buildings
- AS2890.6 – Off-street parking, mandatory requirements
- AS1680.0 – Interior lighting – safe movement

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to Barnson Pty Ltd for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

For the purpose of the Building Code of Australia, Vol. 1, 2019, the development may be described as follows:

classification - BCA 'part A4'
 The building has been classified as a 'Class 1A' building (upper floor) & Class 6 (lower floor)

rise in stories - BCA 'part C1.2'
 The building has a rise in stories of two.

effective height - BCA 'schedule 3 definitions'
 The building has an effective height of zero, as less than 25 (m).

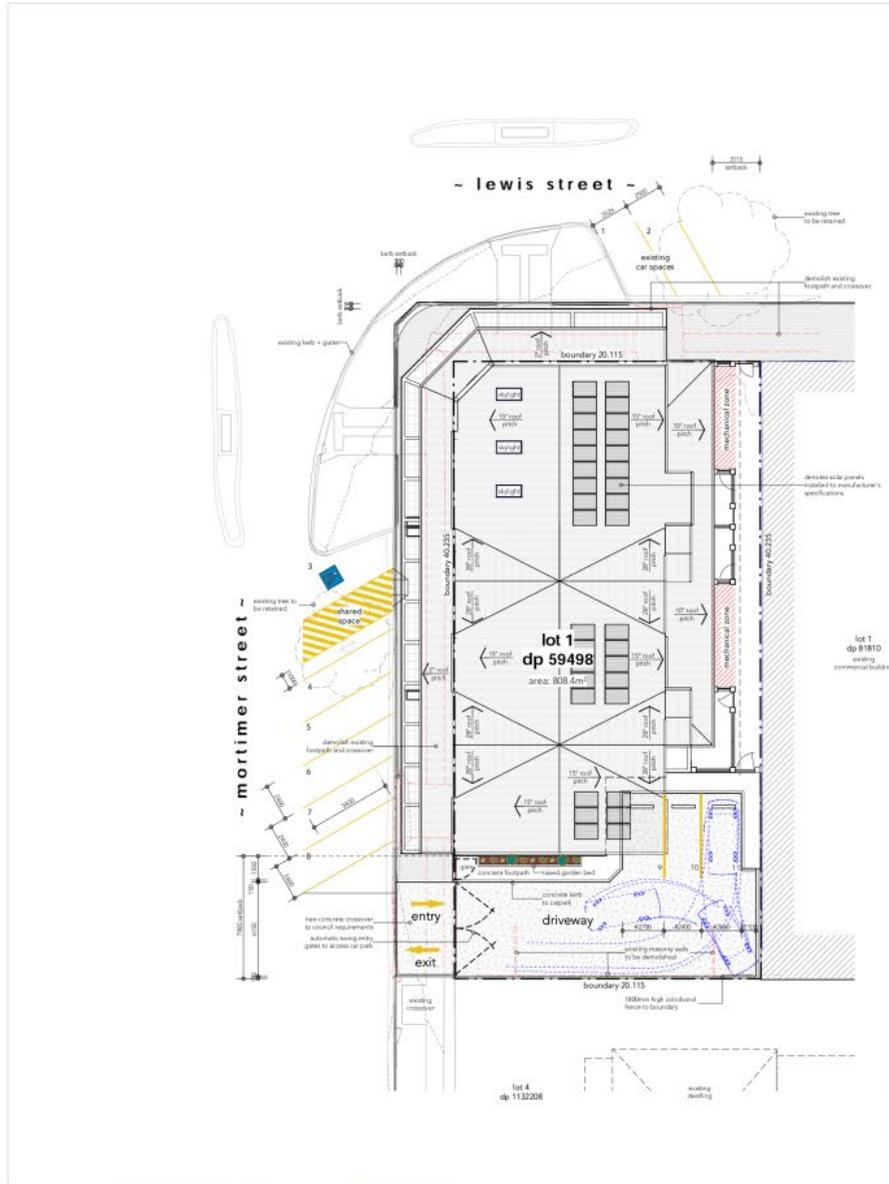
type of construction required - BCA 'part A4, part C1.1 - table C1.1'
 Class 6 building - Type 'C' construction. The building has been deemed 'conditioned'

climate zone - BCA 'schedule 3 definitions'
 The building is located within climate zone 4.

proposed area of works
 23 Lewis Street, Mudgee
 lot 1, dp56498



PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT
 ISSUED FOR DA APPROVAL, 26.08.2021



01 site layout



area schedule:
totals

First Floor Units 1-3	480m ²
First Floor Bakery	164m ²
Ground Floor Tenancies 1-3	408m ²
total	1052m²
site area	808.4m ²

site notes:

general
This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:

- notify a G.L.
- obtain Telstra's "duty of care" document regarding working in the vicinity of telstra plant.
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on the plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works abut existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

The contractor shall arrange all survey setup to be carried out by a registered surveyor.

drainage

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, grated doors shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, PS 3.1.4 - Stormwater drainage.

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.

plant schedule:

code	botanical name	common name	plant spacings	mature height	mature spread
☉	dianella caerulea	little jess	400mm	400mm	400mm
☼	dianella 'silver border'	border silver flex fly	300mm	300mm	600mm
●	baeocaa virgata 'dearf'	'dwarf' twiggie baecaa	750mm	500mm	500mm
●	alternanthera dentata	little ruby	600mm	400mm	700mm

plant material notes:

Battery operated node controller dripper irrigation to all garden beds.

All plants shall be well grown, disease free nursery stock, & true to species type. No species shall be substituted without the approval of the superintendent. No variegated stain shall be used unless nominated.

All plants shall be of the size & quality consistent with the normal industry expectation for the nominated container size. Plants not consistent with the above may be rejected with replacement stock subject to the approval of the superintendent.

mulch notes:

19mm river gravel mulch to all garden beds.

Allow two agriform slow release pallets per 5.25 litre plant & one per 150mm plant. All fertilizer is to be applied in accordance with the manufacturers instructions.

To mass planting areas & street trees install 75mm thickness of graded pine bark as supplied by austral or native landscapes p/l or approved equivalent. All mulch shall be free of vegetative reproductive parts of weeds.

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Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: SITE PLAN

Rev	Date	Amendment
A	08.02.2021	PRELIMINARY
B	14.04.2021	ISSUED FOR REVIEW
C	14.05.2021	ISSUED FOR APPROVAL
D	27.05.2021	ISSUED FOR DEVELOPMENT APPLICATION
E	06.06.2021	ADD ACCESSIBLE PARKING SPACE
F	26.06.2021	ADD TURNING CIRCLES / HISTORY BOARD / AMEND BRICK SELECTION

Design: KG
Drawn: HS
Check: KG

Sheet 02 of 08
Drawing Number: 35200- A01
Revision: F



ISSUED FOR DA APPROVAL



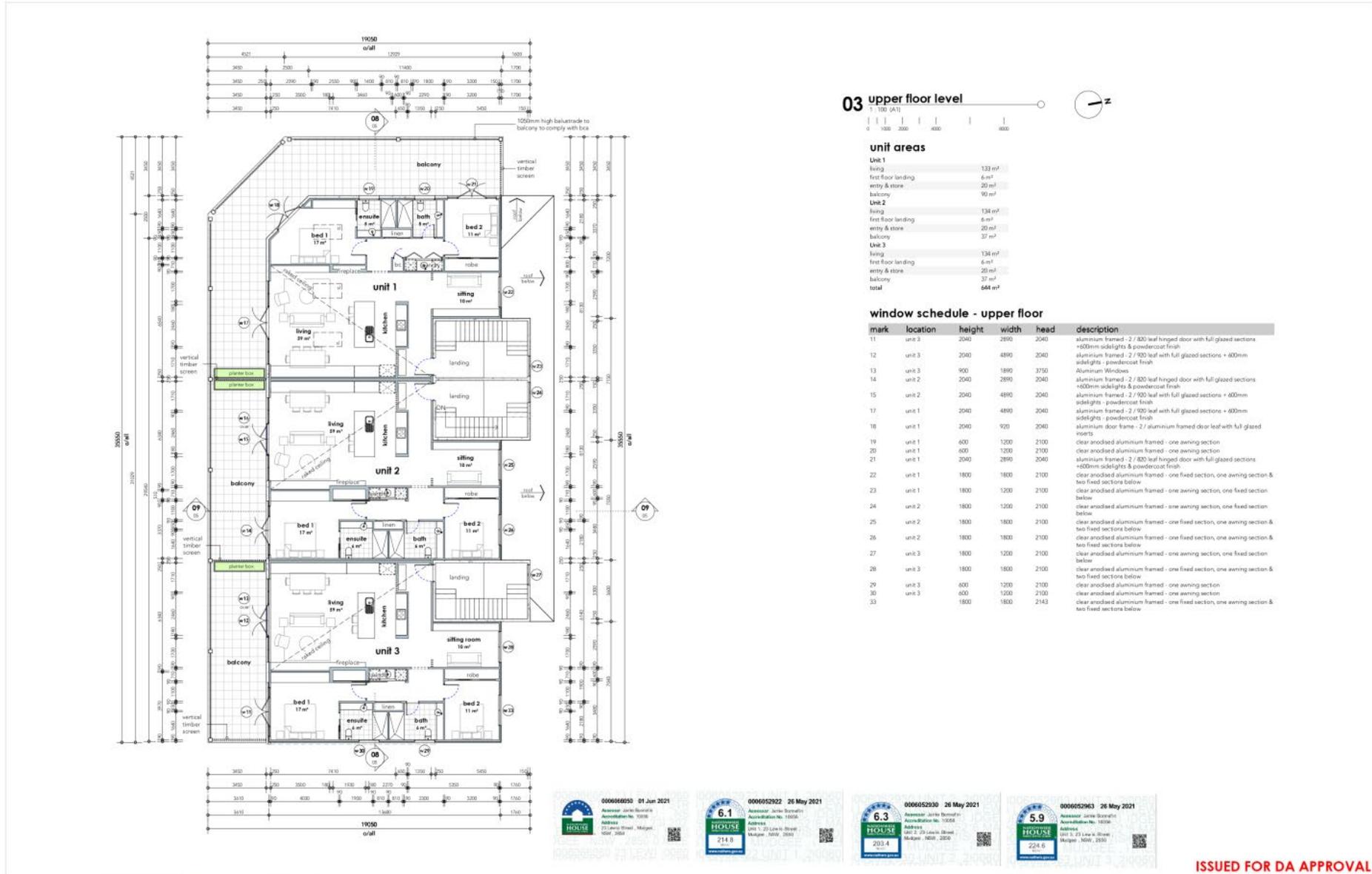
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Client: MICHAEL FERGUS
 Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
 Drawing Title: LOWER FLOOR PLAN

Rev Date Amendment
 A 08.02.2021 PRELIMINARY
 B 14.04.2021 ISSUED FOR REVIEW
 C 14.06.2021 ISSUED FOR APPROVAL
 D 26.08.2021 ADD TURNING CIRCLES / HISTORY BOARD / AMEND BRICK SELECTION

Design: KG
 Drawn: HS
 Check: KG
 Sheet 03 of 08
 Drawing Number: 35200- A02
 Revision: D



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Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: UPPER FLOOR PLAN

Rev | Date | Amendment
A | 14.06.2021 | ISSUED FOR APPROVAL
B | 18.06.2021 | STUDY REPLACED WITH SITTING ROOM WALLS DELETED FOR OPEN SPACE LIVING AREA

Design: KG
Drawn: HS
Check: KG

Sheet: 04 of 08
Drawing Number: 35200-A03
Revision: B

ISSUED FOR DA APPROVAL



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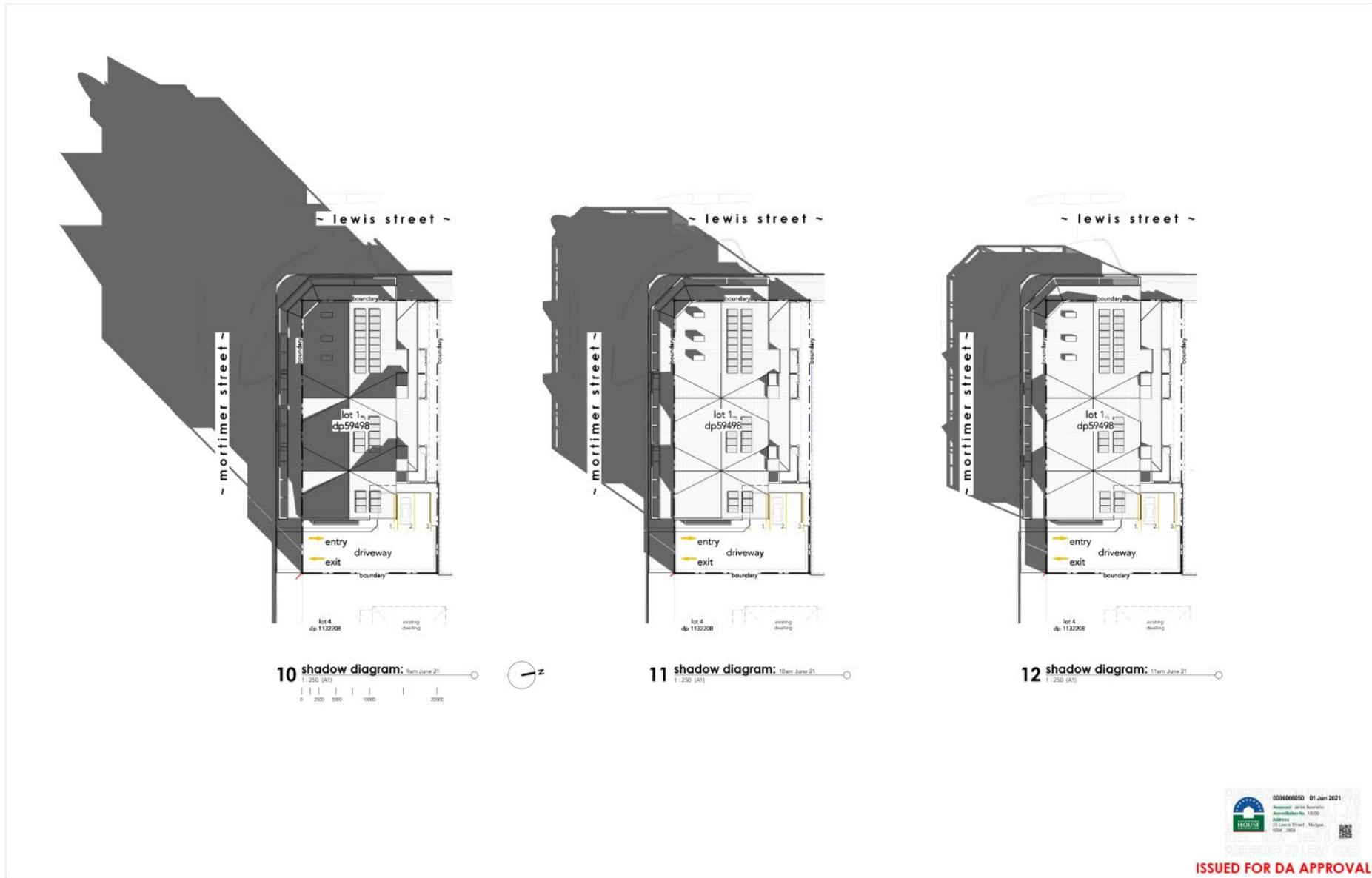
Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: SECTIONS

Rev	Date	Amendment
A	08.02.2021	PRELIMINARY
B	14.04.2021	ISSUED FOR REVIEW
C	14.05.2021	ISSUED FOR APPROVAL
D	27.05.2021	ISSUED FOR DEVELOPMENT APPLICATION
E	18.06.2021	STUDY REPLACED WITH SITTING ROOM WALLS DELETED FOR OPEN SPACE LIVING AREA



ISSUED FOR DA APPROVAL

Design	Drawn	Check
KG	HS	KG
Sheet 06 of 08		
Drawing Number		Revision
35200- A05		E



ISSUED FOR DA APPROVAL



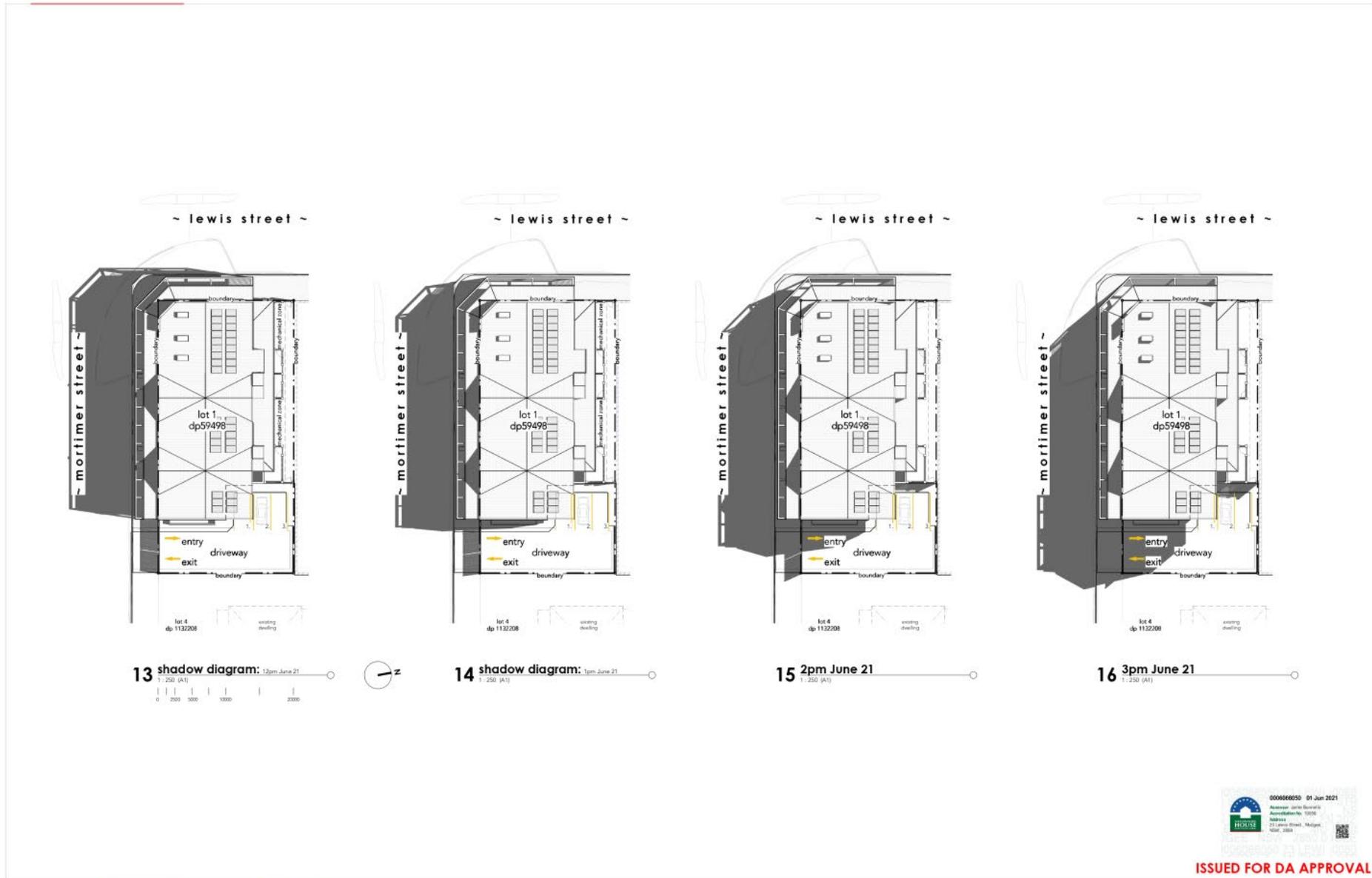
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Client: **MICHAEL FERGUS**
 Project: **PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498**
 Drawing Title: **SHADOW DIAGRAMS 1**

Rev	Date	Amendment
A	14.06.2021	ISSUED FOR REVIEW
B	14.06.2021	ISSUED FOR APPROVAL
C	27.06.2021	ISSUED FOR DEVELOPMENT APPLICATION

Design	Drawn	Check
KG	HS	KG
Sheet 07 of 08		
Drawing Number		Revision
35200- A06		C



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Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: SHADOW DIAGRAMS 2

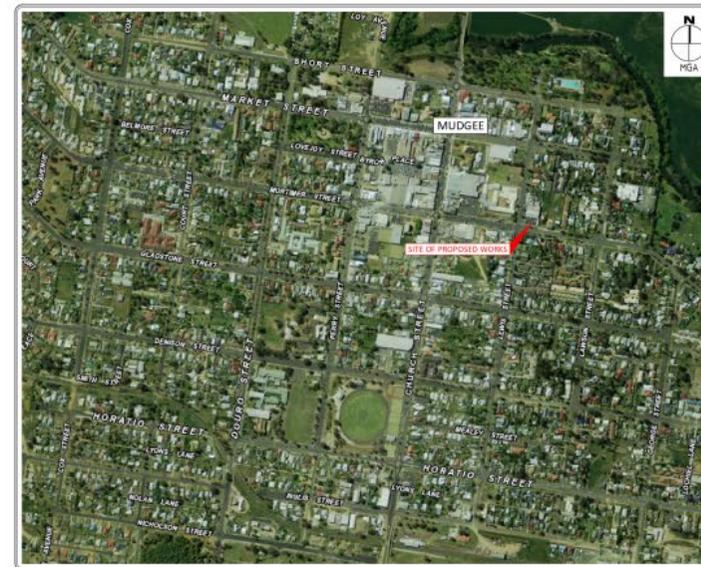
Rev	Date	Amendment
A	14.06.2021	ISSUED FOR REVIEW
B	14.06.2021	ISSUED FOR APPROVAL
C	27.06.2021	ISSUED FOR DEVELOPMENT APPLICATION

Design	Drawn	Check
KG	HS	KG
Sheet 08 of 08	Drawing Number	Revision
35200- A07		C

Civil Construction Documentation for the Shoptop Housing Development Lewis & Mortimer Streets, Mudgee, NSW 2850

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
35200-C00	COVER SHEET & DRAWING SCHEDULE
35200-C01	EXISTING SITE PLAN
35200-C02	PROPOSED SITE PLAN
35200-C03	PAVEMENT PLAN
35200-C04	STORMWATER MANAGEMENT PLAN
35200-C05	STORMWATER NOTES & DETAILS
35200-C06	SEWER RETICULATION PLAN
35200-C07	SEWER NOTES & DETAILS
35200-C08	WATER RETICULATION PLAN
35200-C09	WATER NOTES & DETAILS



LOCALITY PLAN
 NOT TO REDUCTION RATIO

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Client: MICHAEL FERGUS
 Project: SHOPTOP HOUSING DEVELOPMENT
 LEWIS & MORTIMER STREETS, MUDGEE
 Drawing Title: COVER SHEET & DRAWING SCHEDULE

Rev. Date Amendment
 A 13.05.2021 CLIENT REVIEW

Design: EG Certification
 Drawn: EG
 Check: LM Drawing Number: 35200 - C00
 Original Sheet Size: A1 Revision: A



LEGEND

	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING ADJOINING CADASTRAL BOUNDARIES
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING SEWER LINE APPROX. LOCATION
	EXISTING TELEPHONE LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING TELECOMMUNICATIONS PIT
	EXISTING SEWER MANHOLE



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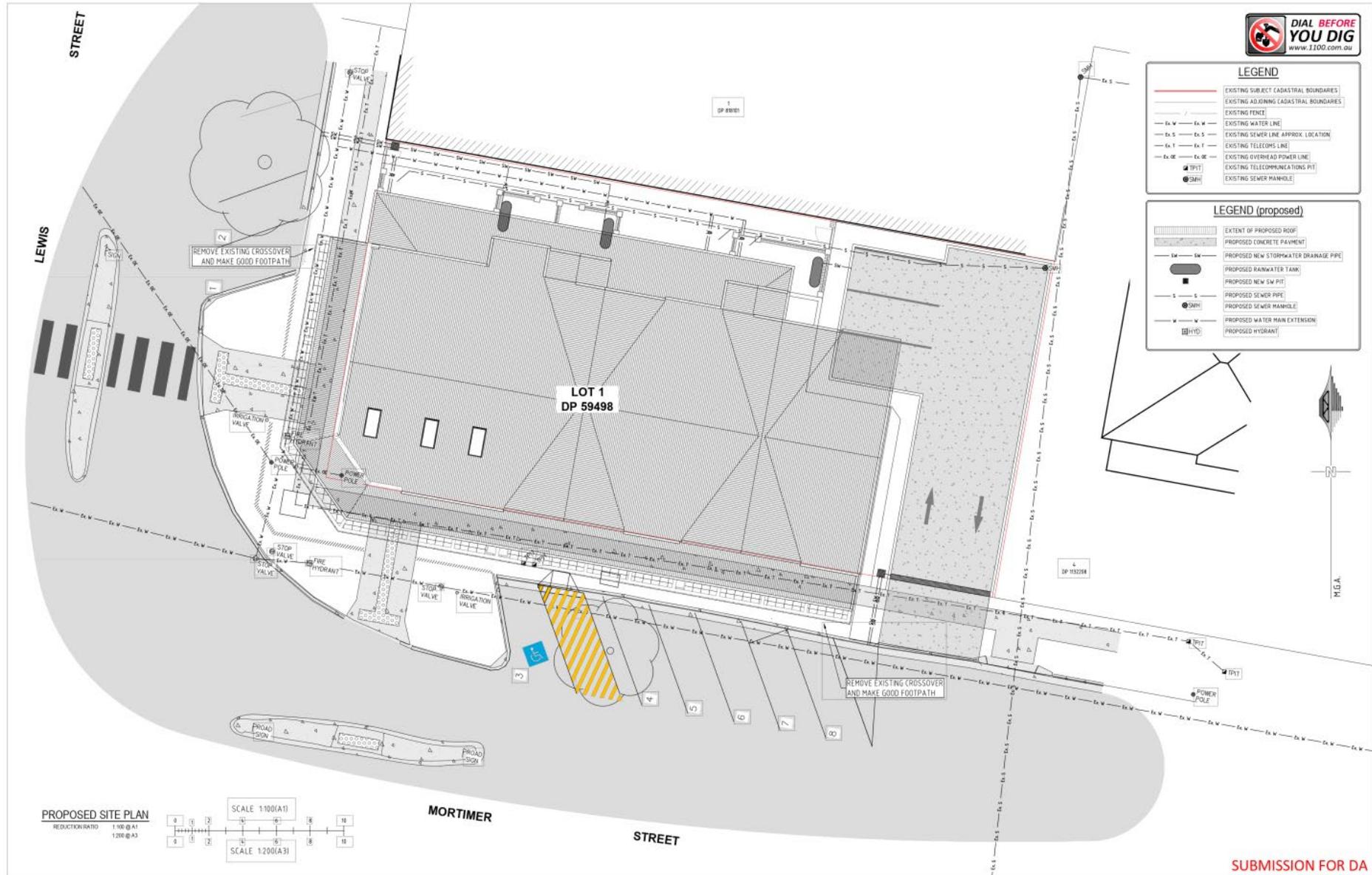
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Client: MICHAEL FERGUS
 Project: SHOPTOP HOUSING DEVELOPMENT
 LEWIS & MORTIMER STREETS, MUDGEE
 Drawing Title: EXISTING SITE PLAN

Rev. Date Amendment
 0 13.05.2021 CLIENT REVIEW

Design	EG	Certification	
Drawn	EG		
Check	LM	Drawing Number	Revision
Original Sheet Size = A1		35200 - C01	0



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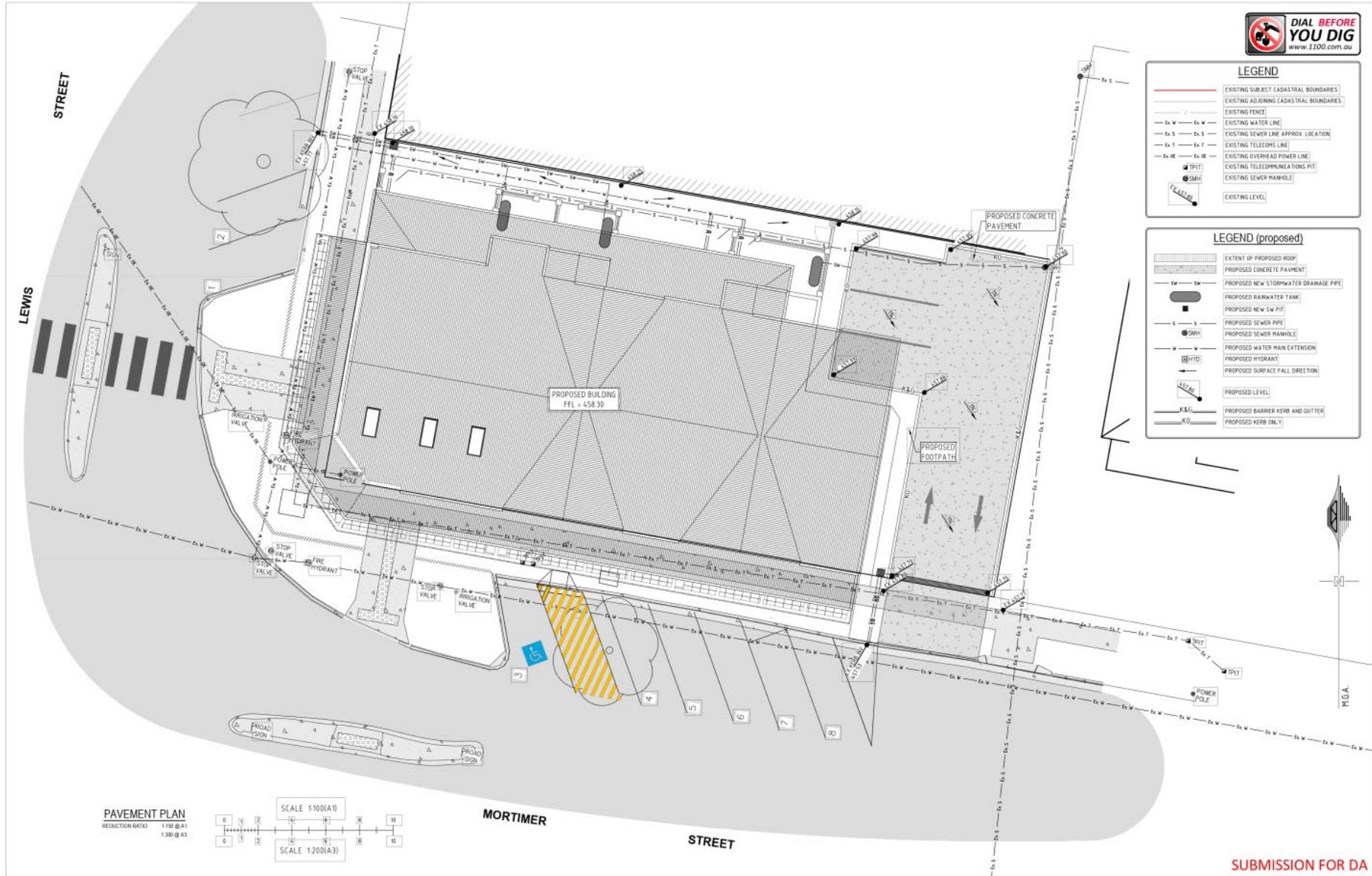
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Client: **MICHAEL FERGUS**
 Project: **LEWIS & MORTIMER STREETS, MUDGEE SHOPTOP HOUSING DEVELOPMENT**
 Drawing title: **PROPOSED SITE PLAN**

Rev Date Amendment
 0 13.06.2021 CLIENT REVIEW
 1 13.08.2021 NEW CARSPACES ADDED

Design: **EG** Certification:
 Drawn: **EG**
 Check: **LM** Drawing Number: **35200 - C02** Revision: **1**
 Original Sheet Size - A1



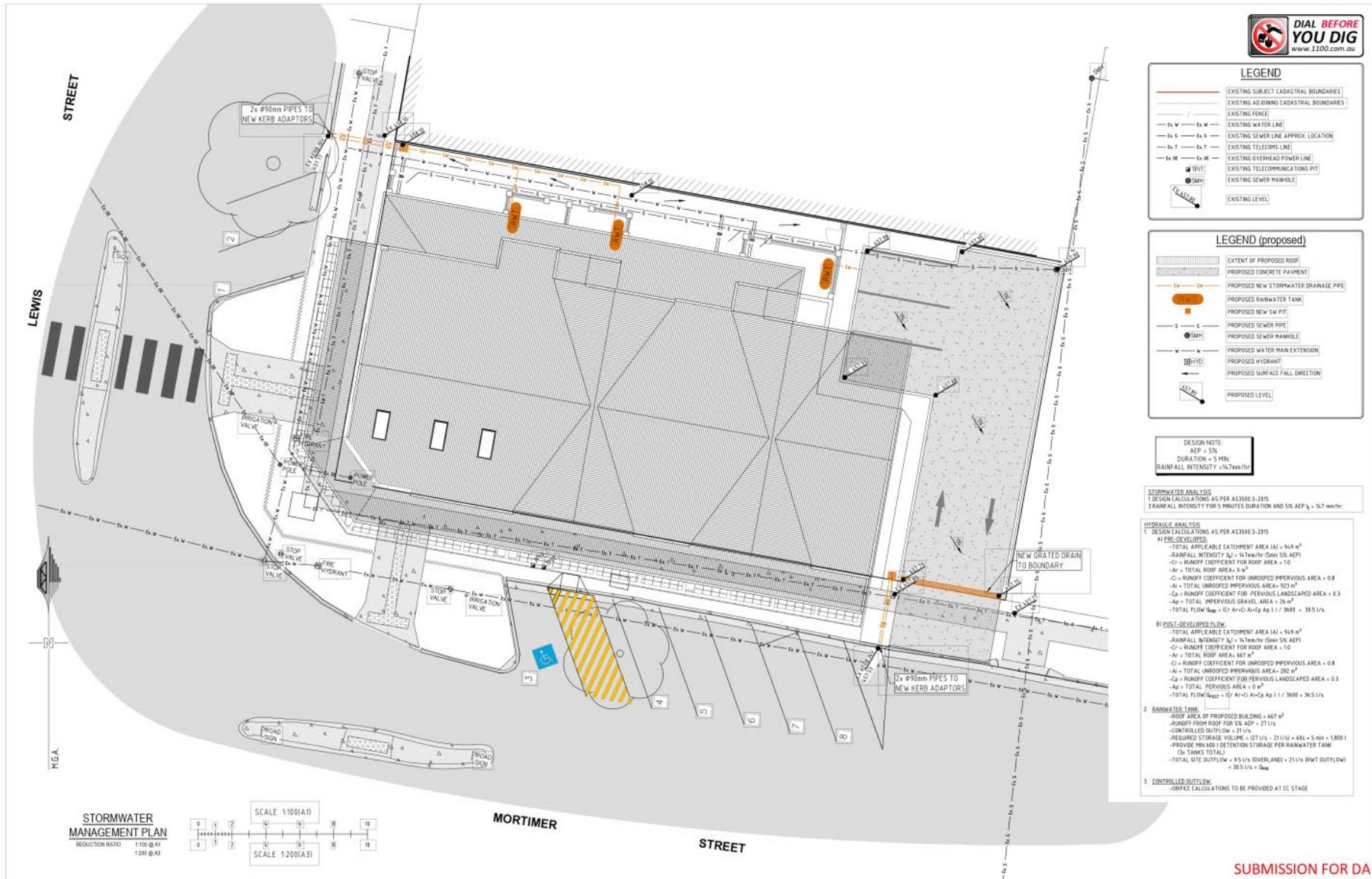
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Client: MICHAEL FERGUS
 Project: SHOPTOP HOUSING DEVELOPMENT
 LEWIS & MORTIMER STREETS, MUDGEE
 Drawing title: PAVEMENT PLAN

Rev Date Amendment
 0 13.06.2021 CLIENT REVIEW
 1 23.08.2021 NEW CARSPACES ADDED

Design EG Certification
 Drawn EG
 Check LM Drawing Number Revision
 Original Sheet Size - A1 35200 - C03 1



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Client: MICHAEL FERGUS
 Project: SHOPTOP HOUSING DEVELOPMENT LEWIS & MORTIMER STREETS, MUDGEE
 Drawing Title: STORMWATER MANAGEMENT PLAN

Rev: 0
 Date: 13.06.2021
 Amendment: CURRENT REVIEW
 1 23.08.2021: NEW CARS PAGES ADDED

Design: EG Certification
 Drawn: EG
 Check: LM Drawing Number: 35200 - C04
 Original Sheet Size: A1
 Revision: 1

SITING NOTES

- ORIGIN OF LEVELS – AHD
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE SUPERINTENDENT.
- EXISTING SERVICES HAVE BEEN OBTAINED FROM SURFACE INSPECTION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABOUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A QUALIFIED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- ON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS.
- MAKE SMOOTH TRANSITION TO EXISTING AREAS.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS. ALL WORK TO BE UNDERTAKEN WITH ADHERENCE TO THE REQUIREMENTS OF THE SOIL AND WATER MANAGEMENT PLAN.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS.

STORMWATER NOTES

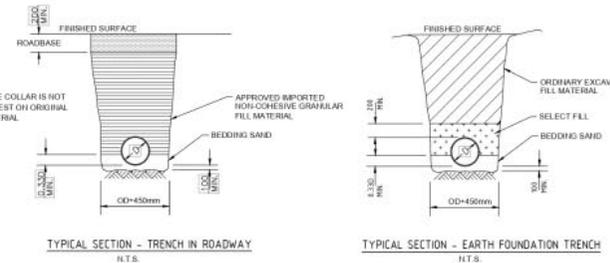
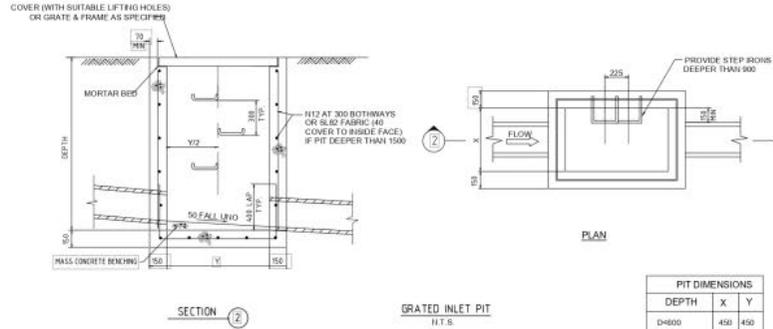
- ALL DOWNPIPE LINES SHALL BE SEWER GRADE uPVC WITH SOLVENT WELD JOINTS (U.N.O)
- EQUIVALENT STRENGTH VCP OR FCP PIPES MAY BE USED.
- MINIMUM GRADE TO STORMWATER LINES TO BE 0.5% MINIMUM (U.N.O)
- CONTRACTORS TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
- ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
- APPROVED PRECAST PITS MAY BE USED.
- WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE BEDDED ON A MIN. 50mm CONCRETE BED (75mm THICK BED OF 12mm BLUE METAL) UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR THE ROCK. IN OTHER THAN ROCK, PIPES SHALL BE LAID ON A 75mm THICK SAND BED. IN ALL CASES, BACKFILL THE TRENCH WITH THE SAND TO 200mm ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS, BACKFILL REMAINDER OF TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150mm LAYERS TO 98% MAX. DRY DENSITY.
- WHERE STORMWATER LINES PASS UNDER FLOOR SLABS, SEWER GRADE RUBBER RING JOINTS ARE TO BE USED.
- ALL PIPES IN THE ROADWAY AND FOOTPATH AREAS, WHERE THE DEPTH OF PIPE IS LESS THAN 500mm FROM THE FINISHED SURFACE LEVEL, ARE TO BE CONCRETE ENCASED.

SURVEY NOTES

- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.
- SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE AND ARE INDICATIVE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.

PIPE TRENCH - FILL NOTES:

- BEDDING SAND**
BEDDING SAND SHALL BE GRANULAR MATERIAL HAVING A LOW PERMEABILITY AND HIGH STABILITY WHEN SATURATED, CONFORMING TO THE GRADING LIMITS FOR BEDDING SAND AS INDICATED IN THE CONTRACT DOCUMENTS. BEDDING SAND SHALL BE COMPACTED TO A DENSITY INDEX OF 95% AS DETERMINED IN ACCORDANCE WITH AS1289.
- APPROVED IMPORTED GRANULAR FILL**
ONLY IMPORTED GRANULAR FILL MATERIAL APPROVED BY THE SUPERINTENDENT SHALL BE USED. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK TO A DRY DENSITY OF 100% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL AND WITH A MOISTURE CONTENT NO MORE THAN 1% ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.
- ORDINARY EXCAVATED FILL MATERIAL**
ORDINARY EXCAVATED FILL MATERIAL IS EXCAVATED TRENCH MATERIAL THAT IS FREE OF VEGETABLE MATTER, HUMUS, LARGE CLAY LUMPS AND ROCK BOULDERS. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK, TO A DENSITY OF 95% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL WITH A MOISTURE CONTENT OF NOT MORE THAN 1% ABOVE THE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.



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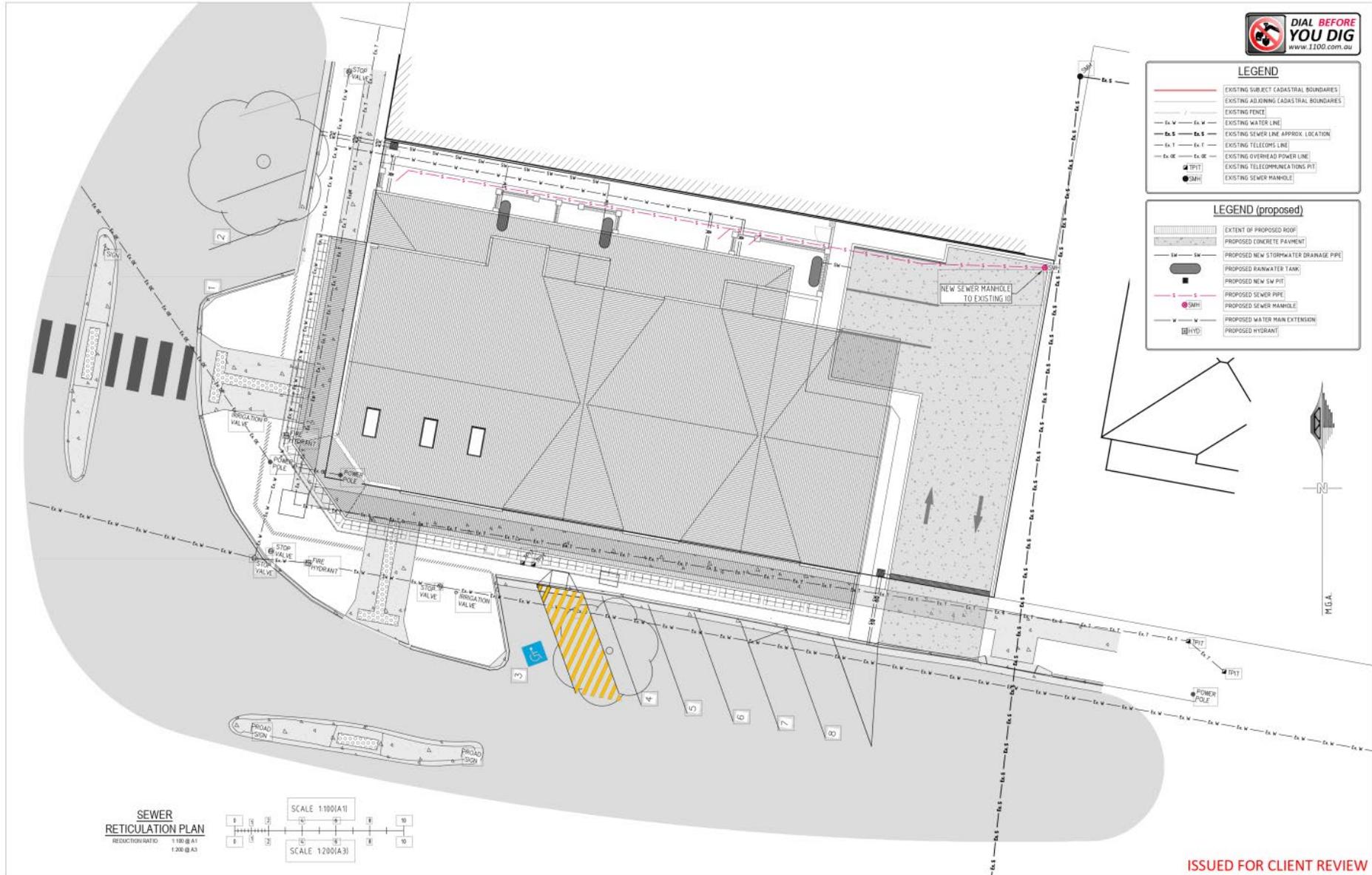
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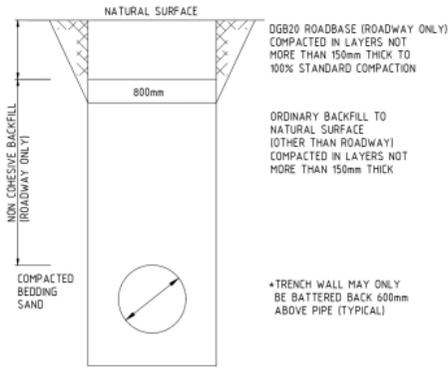
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Client: MICHAEL FERGUS
 Project: SHOPTOP HOUSING DEVELOPMENT LEWIS & MORTIMER STREETS, MUDGEE
 Drawing Title: STORMWATER NOTES & DETAILS

Rev. Date Amendment
 0 13.05.2021 CLIENT REVIEW

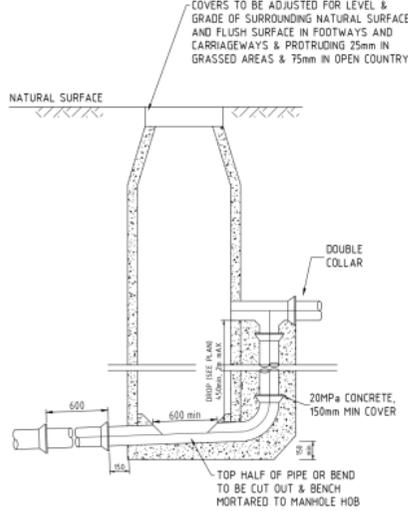
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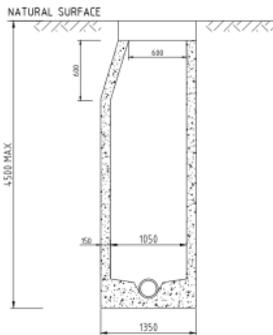


TYPICAL TRENCH SECTION
N.T.S.

* INSTALLATION OF UPVC PIPES SHALL TO CONFORM TO AS2032-1977 "INSTALLATION OF UPVC PIPE SYSTEMS", AS2566-1998 "BURIED FLEXIBLE PIPELINES", WSA-02 2002 AND MANUFACTURERS INSTRUCTIONS.



TYPICAL EXTERNAL DROP (150mmØ)



TYPICAL MANHOLE SECTION (150mmØ)
N.T.S.

SEWER NOTES

1. ALL SEWER MAINS SHALL BE 150Ø/225Ø CLASS S8 RRJ UPVC PIPE. ALL GRAVITY LINES TO USE SEWER GRADE FITTINGS WHERE REQUIRED.
2. CONSTRUCTION OF SEWER MAINS AND MANHOLES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE WSA SEWERAGE CODE, WSA-02, 2002.
3. ANY OTHER SERVICES INCLUDING TELSTRA, GAS, POWER, WATER AND STORMWATER MUST BE LOCATED BEFORE WORK COMMENCES.
4. MANHOLES SHALL BE PRECAST CONCRETE FROM A SUPPLIER APPROVED BY COUNCIL AND HAVE A ROUND REMOVABLE LIGHT DUTY GATE COVER (LND) AND A MINIMUM INTERNAL DIAMETER OF 1020mm.
5. 150mmØ BOUNDARY RISERS SHALL BE PROVIDED TO EACH LOT TO MID-WESTERN REGIONAL COUNCIL'S GUIDELINES FOR ENGINEERING WORKS.
6. RISERS AND SIDELINES TO BE CONSTRUCTED TO WSA-02 2002.
7. FLOW LINE CHANNELS AND INTERSECTIONS SHALL BE CONSTRUCTED THROUGH MANHOLES AS PER WSA-02 2002.
8. ALL SEWER MAINS TO BE PRESSURE TESTED AS PER WSA-02 2002 AND MID-WESTERN REGIONAL COUNCIL'S GUIDELINES FOR ENGINEERING WORKS.

BEDDING NOTES

1. THE MINIMUM DEPTH TO TOP OF PIPE SHALL BE 1000mm, EXCEPT UNDER ROAD PAVEMENT WHERE MINIMUM COVER TO TOP OF PIPE SHALL BE 1200mm MINIMUM UNLESS SHOWN OTHERWISE. PIPES WITH LESS COVER THAN THESE LIMITS TO BE CONCRETE ENCASED, AND DUCT UNDER ROADS.
2. GRADES OF GRAVITY SEWER NOT TO BE FLATTER THAN 1:179 (0.55%) FOR 150mm DIAMETER PIPES AS PER WSA-2014.
3. MANHOLES SHALL BE PLACED AT EACH CHANGE IN DIRECTION OR GRADE OF THE PIPE LINE AT INTERVALS ALONG THE LINE NOT EXCEEDING 80m.

INSPECTION HOLD POINTS
1. INSTALLATION OF SEDIMENT & EROSION CONTROL MEASURES.
2. WATER & SEWER LINE INSTALLATION PRIOR TO BACKFILL.
3. PRACTICAL COMPLETION.

ISSUED FOR CLIENT REVIEW



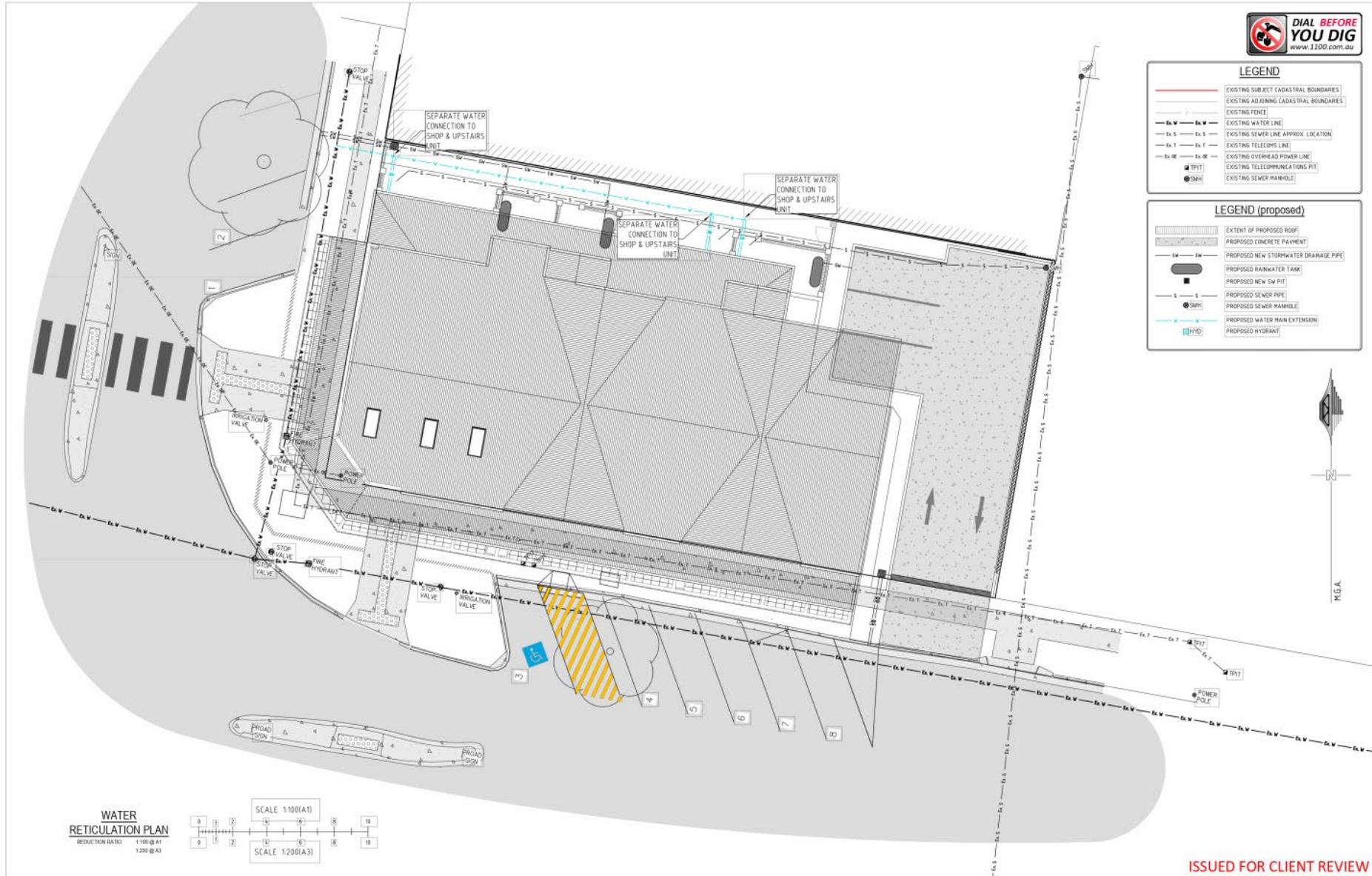
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Client: **MICHAEL FERGUS**
 Project: **SHOPTOP HOUSING DEVELOPMENT LEWIS & MORTIMER STREETS, MUDGEE**
 Drawing Title: **SEWER NOTES & DETAILS**

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 0 13.05.2021 CLIENT REVIEW

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Client: **MICHAEL FERGUS**
 Project: **SHOPTOP HOUSING DEVELOPMENT LEWIS & MORTIMER STREETS, MUDGEE**
 Drawing title: **WATER RETICULATION PLAN**

Rev	Date	Amendment
0	13.06.2021	CLIENT REVIEW
1	13.08.2021	NEW WATER LINES ADDED

Design: **EG** Certification:
 Drawn: **EG**
 Check: **LM** Drawing Number: **35200 - C08** Revision: **1**
 Original Sheet Size - A1

ISSUED FOR CLIENT REVIEW

WATER NOTES:

1. STOP VALVE & SCOUR VALVE CHAMBERS MAY EITHER BE CONSTRUCTED USING PREFABRICATED POLYPROPYLENE UNITS, 375mm DIAM. PVC OR CONCRETE PIPE, INTERLOCKING CONCRETE BLOCKS OR BRICKS WITH SAND/CEMENT MORTAR JOINTS.
2. THE BOTTOM OF THE BRICK, INTERLOCKING CONCRETE BLOCK OR PIPE CHAMBERS SHALL NOT REST DIRECTLY ON THE PIPE BUT ON A COURSE OF BRICKS OR A 100mm THICK CONCRETE FOUNDATION.
3. MINIMUM COVER OVER PIPELINES (ALL TYPES) SHALL BE 750mm IN AREAS SUBJECT TO VEHICULAR LOADING SUCH AS ROADS & FOOTPATHS AND 600mm ELSEWHERE.
4. IN AREAS PAVED WITH BITUMEN SEALING, ASPHALT, CONCRETE OR PAVING BLOCKS THE SURFACE OF VALVE AND HYDRANT COVERS SHALL FINISH FLUSH WITH THE PAVED SURFACE.
5. FOR STOP VALVES INSTALLATION, SOCKETS SHALL BE BUTTED UP TO SPIGOTS AND TRENCH WIDTHS SHALL BE KEPT TO A MINIMUM.
6. FILL SAND SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 150mm AND COMPACTED TO ACHIEVE A MINIMUM 70% DENSITY INDEX AND TO THE SATISFACTION OF THE SUPERINTENDENT.
7. INDICATOR POSTS SHALL BE WHITE IN COLOUR AND ONE OF THE FOLLOWING TYPES :
 - 100mm x 100mm REINFORCED CONCRETE WITH 20mm CHAMFERS.
 - POWDER COATED METAL SUCH AS "EZIDRIVE" POST OR EQUIVALENT.
 - RECYCLED PLASTIC POST WITH RECESSES FOR MARKER PLATES.
 - OTHER POSTS APPROVED BY COUNCIL.
8. DIMENSIONS OF SURFACE BOX COVERS SHOWN ON THIS DRAWING ARE NOMINAL. IF SURFACE BOX COVERS OTHER THAN THOSE SHOWN ARE SUPPLIED, THE DIMENSIONS OF THE CONCRETE SURROUNDS SHALL BE ADJUSTED ACCORDINGLY.
9. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AND COMPLY WITH THE AUS-SPEC SPECIFICATION FOR MINOR CONCRETE WORKS.
10. THE DIMENSION BETWEEN THE UNDERSIDE OF THE STOP VALVE SURFACE BOX LID AND THE TOP OF THE VALVE SPINDLE SHALL BE A MINIMUM OF 80mm. THE TOP OF VALVE SPINDLE SHALL BE NO MORE THAN 300mm BELOW TOP SURFACE OF SURFACE BOX LID. IF THIS CANNOT BE ATTAINED, A GALVANIZED OR EPOXY PAINTED VALVE KEY EXTENSION SECURED BY GRUB SCREWS SHALL BE FITTED. IF NECESSARY, TO ENSURE THAT THE KEY EXTENSION IS CENTERED CORRECTLY A SPIDER ASSEMBLY SHALL BE INCORPORATED IN THE EXTENSION.

PIPE NOTES:

THE FOLLOWING PIPE MATERIALS MAY BE USED FOR WATER RETICULATION MAINS:
ALL WATER MAINS LESS THAN 300mm IN DIAMETER SHALL BE CONSTRUCTED FROM CLASS K9 DUCTILE IRON CEMENT LINED (DICI), SPIGOT AND SOCKET, RUBBER RING JOINTED PIPE MANUFACTURED IN ACCORDANCE WITH AUSTRALIAN STANDARD 2280.
ALL WATER PIPES GREATER THAN 300MM IN DIAMETER SHALL BE CLASS K12 DICI. ALTERNATIVELY, CLASS 20 IMINI "BLUE BRUTE" UPVC PIPE MAY BE USED, PROVIDED THAT OD COMPATIBILITY WITH DICI PIPING IS MAINTAINED.
POLYETHYLENE (AS/NZS4130) MINIMUM PN12.5, BLUE STRIPED FOR POTABLE SYSTEMS. LILAC STRIPED FOR RE-USE OR RAW WATER SYSTEMS. ALL JOINTING TO BE ELECTRO-FUSION OR BUTT-WELDED.
PRODUCTS IN CONTACT WITH POTABLE WATER SHALL BE TESTED AND COMPLY WITH THE REQUIREMENTS OF AS/NZS4020 FOR PRODUCTS IN CONTACT WITH DRINKING WATER.

CONSTRUCTION NOTES

1. WATER MAINS TO HAVE MINIMUM 800mm COVER IN FOOTPATH AND 800mm COVER IN ROADWAYS.
2. PIPES TO BE RACKED & BENDS PLACED AS REQUIRED.
3. STOP VALVES TO BE FBE/RILSAN COATED, ANTI-CLOCKWISE CLOSING AND TABLE C FLANGES.
4. ALL PIPES AND FITTINGS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS & WSA WATER RETICULATION CODE.
5. MAIN SHALL BE PRESSURE-TESTED TO AS PER MID-WESTERN REGIONAL COUNCIL'S ENGINEERING GUIDELINE'S FOR ENGINEERING WORKS, SECTION 8.3.2.
6. ALL MAINS FOR CONNECTION TO THE PUBLIC WATER SUPPLY SYSTEM SHALL BE DISINFECTED TO THE SATISFACTION OF COUNCIL INSPECTOR.
7. ALL CONCRETE SHALL BE 20MPa.
8. WATER MAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH MID-WESTERN REGIONAL COUNCIL'S SPECIFICATIONS.
9. THE CONTRACTOR SHALL LOCATE AND POTHOLE ALL UTILITIES AND SERVICES INTERSECTING THE WORKS AND CONNECTIONS TO THE EXISTING WATER MAINS PRIOR TO COMMENCEMENT OF TRENCH EXCAVATION. PIPES SHALL BE DEFLECTED AT JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS SUCH THAT CLEARANCES ARE MAINTAINED TO MEET UTILITY OR SERVICE OWNERS REQUIREMENTS

DICI NOTES:

1. ALL DUCTILE IRON CEMENT LINED PIPES TO BE IN ACCORDANCE WITH AS2280-2014.
2. ALL SLUICE VALVES TO BE IN ACCORDANCE WITH AS/NZS 2638.2-2011- GATE VALVES FOR WATERWORKS PURPOSES.
3. ALL POLYETHYLENE SLEEVING TO BE IN ACCORDANCE WITH AS3680-2008.
4. ALL ELASTOMETRIC SEALS TO BE IN ACCORDANCE WITH 1646-2007.

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Client: **MICHAEL FERGUS**
 Project: **SHOPTOP HOUSING DEVELOPMENT LEWIS & MORTIMER STREETS, MUDGEE**
 Drawing Title: **WATER NOTES & DETAILS**

Rev Date Amendment
 0 13.05.2021 CLIENT REVIEW

Design **EG** Certification
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 Original Sheet Size = A1 **35200 - C09** **0**

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1205619M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Tuesday, 01 June 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	23 Lewis Street Mudgee	
Street address	23 Lewis Street Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 59498	
Lot no.	1	
Section no.	n/a	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	3	
No. of single dwelling houses	0	
Project score		
Water	✓ 39	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 40	Target 40

Certificate Prepared by
Name / Company Name: Certified Energy 1
ABN (if applicable): 95164564210

Description of project

Project address	
Project name	23 Lewis Street Mudgee
Street address	23 Lewis Street Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	deposited 59498
Lot no.	1
Section no.	n/a
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	3
No. of single dwelling houses	0
Site details	
Site area (m ²)	808
Roof area (m ²)	377.7
Non-residential floor area (m ²)	325.0
Residential car spaces	3
Non-residential car spaces	0

Common area landscape		
Common area lawn (m ²)	100.0	
Common area garden (m ²)	0.0	
Area of indigenous or low water use species (m ²)	0.0	
Assessor details		
Assessor number	10056	
Certificate number	0006066050	
Climate zone	65	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✓ 39	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 40	Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	2	115.0	5.0	0.0	0.0
2	2	123.0	0.0	0.0	0.0
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2	2	123.0	0.0	0.0	0.0
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3	1	117.0	6.0	0.0	0.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. 		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but <= 7.5 L/min)	3 star	3 star	3 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	no	yes	yes	no	no
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	solar (electric boosted) 26 to 30 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
3	1-phase airconditioning 6 star (cold zone) (zoned)	2 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	no			
All other dwellings	1-phase airconditioning 6 star (cold zone) (zoned)	3 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	no			

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures								
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line	
All dwellings	-	-	-	-	electric cooktop & electric oven	-	yes	-	-	-	yes	yes	

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	0.0

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	205.3	9.5
2	199.8	3.7
All other dwellings	220.9	3.7

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
All dwellings	-	-	112	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	3000.0	To collect run-off from at least: - 100.0 square metres of roof area of buildings in the development	- irrigation of 0.0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).



Traffic Impact Assessment Report

Shoptop Housing Development
Lewis & Mortimer Streets
Mudgee

(Our Reference: 35200-TIA01_4)

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date
23.08.2021

reference
35200-TIA01_4

receiver
Mr Michael Fergus
C/- Petries Mitre 10
Group
144-148 Church Street
Mudgee NSW 2850

Dear Michael,

**Traffic Impact Assessment Report
Shoptop Housing Development
Cnr Lewis & Mortimer Street
Mudgee NSW 2850**

With reference to the above, please find the following Traffic Impact Assessment report regarding the proposed development.

If you have any further enquiries regarding this matter, please contact the undersigned.

Yours faithfully
BARNSON PTY LTD

A handwritten signature in black ink, appearing to read 'Eden Glikzman'.

Eden Glikzman
B.Eng (Hons)
CIVIL ENGINEER



Disclaimer

This report has been prepared solely for Michael Fergus (the client) in accordance with the scope provided by the client and for the purpose(s) as outlined throughout this report. Barnson Pty Ltd accepts no liability or responsibility for or in respect of any use or reliance upon this report and its supporting material by anyone other than the client.

Project Name:	Traffic Impact Assessment Report – Shoptop Housing Development, Lewis & Mortimer Streets, Mudgee NSW 2850
Client:	Michael Fergus
Project No.	35200
Report Reference	35200-TIA01_4
Date:	23.08.2021
Revision:	Final

Prepared by:	Reviewed by:
	
Eden Gliksman B.Eng (Hons) Civil Engineer	Luke Morris B.E. MIEAust CPEng (NPER) Director



LIST OF CONTENTS

EXECUTIVE SUMMARY	6
1 INTRODUCTION	7
1.1 Project Outline.....	7
1.2 Purpose and Scope	7
2 EXISTING CONDITIONS	8
2.1 Location and Site	8
2.2 Existing Traffic Hierarchy	10
2.3 Traffic Volumes	10
2.4 Public Transport.....	11
2.5 Pedestrian Access	11
2.6 Traffic Safety	13
3 PROPOSED DEVELOPMENT	14
3.1 Parking Assessment.....	14
3.1.1 Parking Surveys.....	14
3.2 Traffic Generation.....	15
3.3 Lewis Street and Mortimer Street Analysis.....	15
3.4 Proposed Driveway/Intersection Analysis.....	16
3.4.1 Sight distance review	17
3.5 Cumulative Impacts	17
4 CONCLUSION	18

LIST OF TABLES

Table 1 Summary of existing traffic volumes	10
Table 2 Parking utilisation survey	15
Table 3 Urban road peak hour flows per direction	15
Table 4 Lewis Street peak hour flows per direction	16
Table 5 Peak hour turning traffic volumes	16

LIST OF FIGURES

Figure 1 Site aerial photograph	8
Figure 2 Existing driveway onto Lewis Street	9
Figure 3 Existing driveway onto Mortimer Street	9
Figure 4 Site road hierarchy.....	10
Figure 5 Footpath along Mortimer Street	11
Figure 6 Pedestrian crossing on Lewis Street.....	12
Figure 7 Pedestrian crossing on Mortimer Street	12
Figure 8 Accident history map	13
Figure 9 Warrants for turn treatments at unsignalised intersections	16



APPENDICES

Appendix A – Site Plans

Appendix B – Traffic Counts

Appendix C – Parking Surveys



EXECUTIVE SUMMARY

Barnson has been engaged by Michael Fergus to prepare a Traffic Impact Assessment (TIA) as part of the Development Application (DA) for the proposed Shoptop housing development on the corner of Lewis and Mortimer Streets, Mudgee. This report summarises the findings of the TIA and should be read in conjunction with the DA.

The subject site is located within the town centre of Mudgee and has an area of 800 m². The site is currently improved with a sealed carpark and has most recently been used as a car sales yard.

The project will consist of three attached two-storey units, each featuring a commercial office tenancy on the ground floor and a two-bedroom apartment on the first floor.

The following conclusions have been drawn as a result of this assessment:

- The development will generate up to eight vehicle trips per hour during the weekday peak
- Parking demand will be met by off-street and on-street parking. Three additional parking spaces are required within the surrounding streets within close proximity.
- Lewis and Mortimer Streets are both currently operating at an acceptable level of service and will continue to do so once the development is operational.
- The estimated existing traffic volumes and projected future volumes on Mortimer Street warrant BAL and BAR turn treatments in accordance with Austroads Guide to Road Design Part 4 (2017).
- The existing road configuration satisfies the requirements for the BAL and BAR turn treatments, and provides sufficient sight distances to both directions in accordance with Austroads Guide to Road Design Part 4a (2017).
- It has been concluded that the development is unlikely to have any significant impacts on the traffic operations of the existing local road network.



1 INTRODUCTION

1.1 Project Outline

The project will consist of three two-storey units, each featuring a commercial office tenancy on the ground floor and a two-bedroom apartment on the first floor.

1.2 Purpose and Scope

This report has been commissioned by the applicant as part of a DA for the subject site and provides an assessment of the traffic implications of the proposed development on surrounding traffic, transport and local road infrastructure.

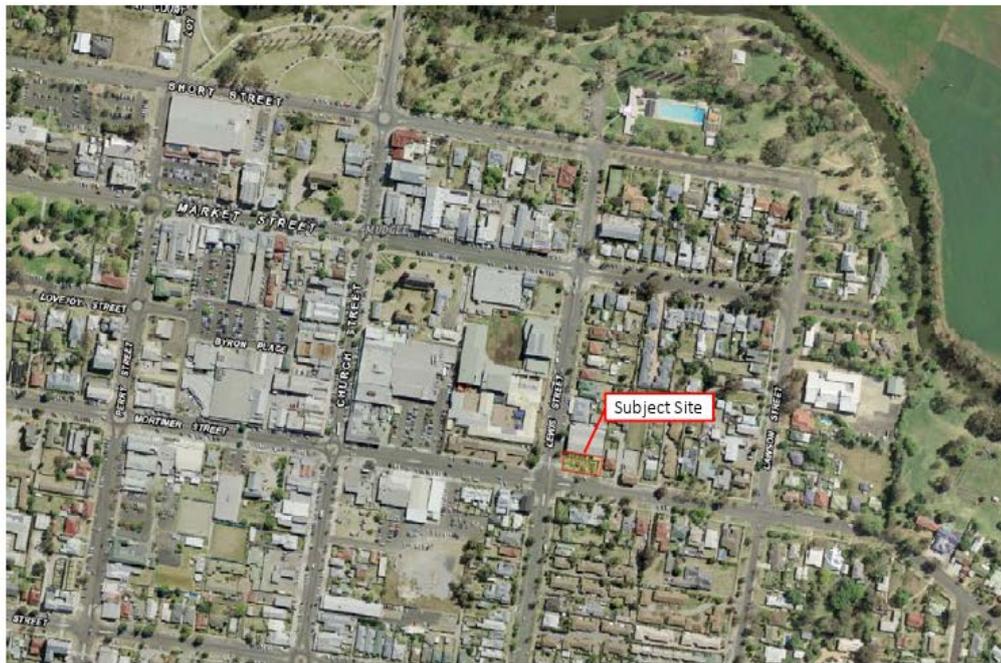
This TIA has been prepared in accordance with the RTA Guide to Traffic Generating Developments (2002) and Mid-Western Regional Council's Policies & Plans.



2 EXISTING CONDITIONS

2.1 Location and Site

The subject site of this application is Lot 1 DP 59498, on the corner of Lewis and Mortimer Streets in the town centre of Mudgee. The site has an overall area of 800m² and currently contains a sealed carpark, most recently used as a car sales yard.



Source: SIX Maps e-Topo, NSW Spatial Information Exchange, 2019

Figure 1 Site aerial photograph

Vehicular access is gained via crossovers onto Lewis and Mortimer Streets. At the site frontage, both streets are in good sealed condition with one lane in each direction and a parking lane on each side. Sight distances when exiting both driveways exceed 150m in all directions.



Figure 2 Existing driveway onto Lewis Street



Figure 3 Existing driveway onto Mortimer Street



2.2 Existing Traffic Hierarchy

The subject site is accessible via Lewis Street and Mortimer Street, both of which are local connector roads.



Source: SIX Maps e-Topo, NSW Spatial Information Exchange, 2021

Figure 4 Site road hierarchy

2.3 Traffic Volumes

Traffic counts were conducted by Gennaoui Consulting Pty Ltd on behalf of Mid-Western Regional Council in 2014, on Lewis Street between Gladstone and Mortimer Streets and on Mortimer Street between Lawson and Lewis Streets. The data obtained is attached in Appendix B.

To account for population and traffic growth since 2016, the data has been indexed at a cumulative rate of 5% pa, and the final volumes for the purposes of analyses are given in Table 1. Volumes are provided in units of vehicles per day (vpd) and vehicles per hour (vph).

Table 1 Summary of existing traffic volumes

Location	Daily Average (vpd)	Hourly Peak (vph)
Lewis Street	5,104	521
Mortimer Street	2,634	255

All vehicle rates shown are for movements in both directions.

The speed limit on Lewis and Mortimer Streets is 50km/h, except on weekdays between the hours of 8:00-9:30am and 2:30-4:00pm when the school zone is active, and the speed limit is 40km/h.



2.4 Public Transport

Ogden's Coaches is the main bus operator in Mudgee. It runs school and community bus routes along Lewis and Mortimer Streets passing the subject site, including school bus services to St Matthew's Catholic School opposite the site on Lewis Street.

2.5 Pedestrian Access

Pedestrian access to the site is linked to the wider pedestrian network throughout the Mudgee town centre. Concrete paths border both street frontages, with pedestrian crossings on both roads featuring refuge medians to for the safety and guidance of pedestrians.



Figure 5 Footpath along Mortimer Street



Figure 6 Pedestrian crossing on Lewis Street

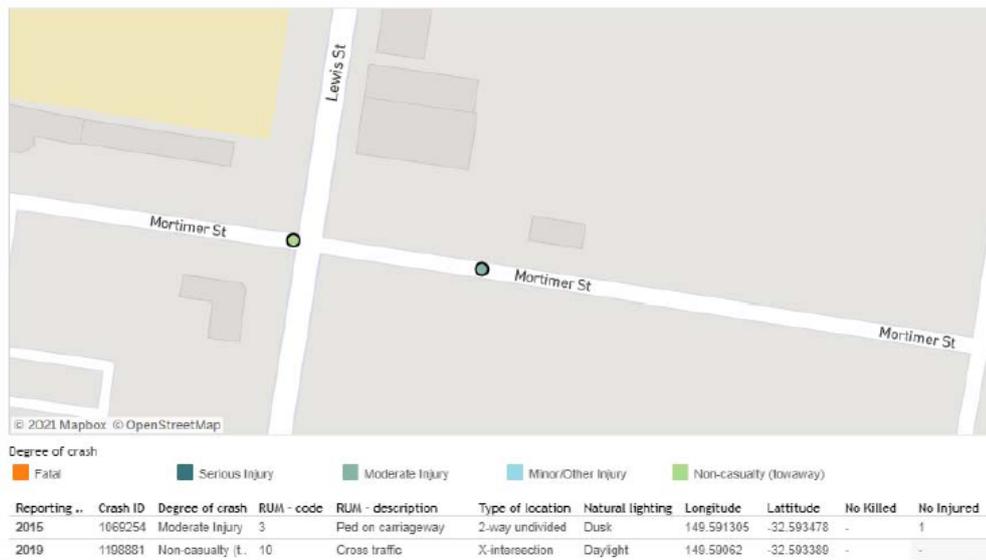


Figure 7 Pedestrian crossing on Mortimer Street



2.6 Traffic Safety

Traffic accident history of the area has been obtained from the RMS website. In the five-year period between 2015 and 2019, two crashes were recorded in the vicinity of the site and are detailed in Figure 8. As the two crashes occurred in different locations and were different crash types, there does not appear to be a crash pattern, and these are considered isolated incidents.



Source: Crash and Casualty Statistics, RMS, 2019

Figure 8 Accident history map



3 PROPOSED DEVELOPMENT

As outlined in Section 1.1, the proposed development consists of three two-storey units, each featuring a commercial tenancy on the ground floor and a residential apartment on the first floor. The commercial tenancies will be fitted out as a basic open office layout. Each Shoptop apartment will feature two bedrooms, two bathrooms and an open plan kitchen/living/dining area. Floor plans for the development are provided in Appendix A.

3.1 Parking Assessment

Parking rates have been obtained from the Mid-Western Regional Council's Development Control Plan Amendment 5 (2013) (the DCP). As the site is located within Mudgee's conservation area, the applicable car parking rate is one space per two-bedroom flat; plus one space per 30m² gross floor area (GFA) or office space. As such, the parking requirement can be calculated as:

$$3 \text{ units} + (408 \text{ m}^2 \div 30 \text{ m}^2) = 17 \text{ parking spaces}$$

The parking requirements are addressed in three ways:

- The proposal includes the provision of three off-street car parking spaces, each allocated to one unit to meet the residential parking needs.
- Of the 11 commercial parking spaces required, 8 spaces are to be accommodated by street parking along the site frontage on Lewis and Mortimer Streets, and another 3 street parking spaces within close proximity to the site.
- A departure from the DCP is sought on the remaining three spaces, with justification provided within the Statement of Environmental Effects submitted in support of the development proposal.

3.1.1 Parking Surveys

Parking surveys have been conducted to assess the impact of relying on street parking for traffic generated by the development. With consideration of the development's operation as primarily commercial offices, and the surrounding activities including schools, restaurants, retail and residential dwellings, three peak parking demand periods are anticipated:

- 9:00am, corresponding with morning school and work traffic
- 3:00pm, corresponding with school pickup
- 5:00pm, corresponding with evening work traffic.

The parking survey identified the availability of 186 car parking spaces within the surveyed region identified in Appendix C. The average number of occupied spaces within the surveyed areas at different times is summarized in Table 2.



Table 2 Parking utilisation survey

Zone	Capacity	Restriction	Occupied Spaces		
			9:00am	3:00pm	5:00pm
A	34	2 hours	30	33	11
B	9	Unlimited	9	9	4
C	17	Unlimited	16	15	8
D	22	Unlimited	14	18	9
E	104	Unlimited	76	84	61
Total	186		145	159	93

During the busiest time at 3pm, 159 parking spaces are occupied within the surveyed area; leaving 27 empty spaces available within close proximity to the site. The abundance of available car parking will absorb the 3 vehicles generated by the site with minimal impact, such that the availability of parking is reduced by 11% with at least 24 spaces remaining available. This minor decrease is considered unlikely to impact any surrounding businesses or residential and school activities.

3.2 Traffic Generation

The RMS Guide to Traffic Generating Developments (2002) prescribes a peak traffic generation rate of 0.5vph per dwelling (up to two bedrooms) and 2vph per 100m² GFA office/commercial space. This gives the following peak hourly trip generation for the development:

$$0.5 \text{ vph} \times 3 \text{ dwellings} + 2 \text{ vph} \times 408 \text{ m}^2 \div 100 \text{ m}^2 = 10 \text{ vph}$$

3.3 Lewis Street and Mortimer Street Analysis

The peak hourly flows for a mid-block road at various Levels of Service (LoS) are set out in Table 3 below.

Table 3 Urban road peak hour flows per direction

Level of Service	One Lane (vph)	Two Lanes (vph)
A	200	900
B	380	1400
C	600	1800
D	900	2200
E	1400	2800

Source: Guide to Traffic Generating Developments, RTA (2002)

From the available traffic counts and the projected traffic generation outlined in Section 0, and with the assumption that on some particular days 100% of generated traffic may utilise either Lewis Street or Mortimer Street, it can be concluded that:



Table 4 Lewis Street peak hour flows per direction

Location	Stage	Peak Hourly Flow per Direction (vph)	Level of Service
Lewis Street	Pre-development	261	A
	Post-development	266	A
Mortimer Street	Pre-development	128	A
	Post-development	133	A

Therefore, no upgrades are required to Lewis or Mortimer Streets.

3.4 Proposed Driveway/Intersection Analysis

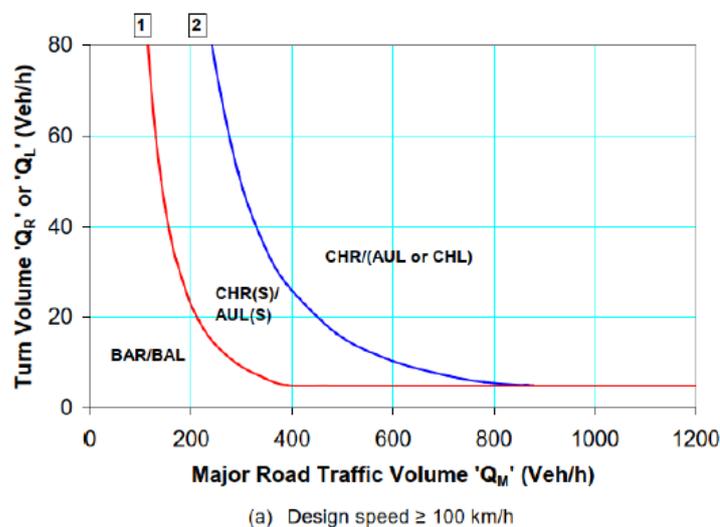
The existing crossovers to Mortimer and Lewis Streets are to be removed. A new combined entry/exit driveway is proposed at the eastern end of the site, and is to be 6m in width in accordance with AS2890.1:2004.

From Sections 2.3 and 0, the existing and proposed peak flows are summarised below:

Table 5 Peak hour turning traffic volumes

Existing through traffic (vph)	Turning traffic (vph)
255	10

From these traffic volumes and the warrants illustrated in Figure 9 below, the appropriate turn treatments are Basic Right (BAR) / Basic Left (BAL). This arrangement is satisfied by the existing road configuration.



Source: Figure A 10, Guide to Road Design Part 4, Austroads, 2017

Figure 9 Warrants for turn treatments at unsignalised intersections



3.4.1 Sight distance review

Sight distances at the Mortimer Street driveway extend around 180m in both directions, and the speed limit is 50km/h outside of school zone hours. In accordance with Table A 12 of the Austroads Guide to Road Design Part 4A (2017), the minimum safe intersection sight distance at the site driveway, conservatively using truck stopping distances and a reaction time of 2.0 s, is 83m. Therefore, the driveway sight distances are compliant with the Austroads requirements.

3.5 Cumulative Impacts

There are no other known major developments currently being assessed by Mid-Western Regional Council in proximity to the subject site.



4 CONCLUSION

Barnson has been engaged by Michael Fergus to prepare a (TIA) as part of the (DA) for the proposed Shoptop housing development on the corner of Lewis and Mortimer Streets, Mudgee. This report summarises the findings of the TIA and should be read in conjunction with the DA.

The subject site is located within the town centre of Mudgee and has an area of 800 m². The site is currently improved with a sealed carpark and has most recently been used as a car sales yard.

The project will consist of three attached two-storey units, each featuring a commercial office tenancy on the ground floor and a two-bedroom apartment on the first floor.

The following conclusions have been drawn as a result of this assessment:

- The development will generate up to eight vehicle trips per hour during the weekday peak.
- Parking demand will be met by off-street and on-street parking. Three additional parking spaces are required within the surrounding streets within close proximity.
- Lewis and Mortimer Streets are both currently operating at an acceptable level of service and will continue to do so once the development is operational
- The estimated existing traffic volumes and projected future volumes on Mortimer Street warrant BAL and BAR turn treatments in accordance with Austroads Guide to Road Design Part 4 (2017)
- The existing road configuration satisfies the requirements for the BAL and BAR turn treatments, and provides sufficient sight distances to both directions in accordance with Austroads Guide to Road Design Part 4a (2017).
- It has been concluded that the development is unlikely to have any significant impacts on the traffic operations of the existing local road network.

Should you require any further information or clarification regarding this matter, please do not hesitate to contact the undersigned.

Yours faithfully
BARNSON PTY LTD

A handwritten signature in black ink, appearing to read 'Edén Gliksman', written over a light blue horizontal line.

Edén Gliksman
B.Eng (Hons)
CIVIL ENGINEER



Appendix A - Site Plans



PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT

23 LEWIS ST, MUDGEE - LOT 1 DP56498



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Dubbo NSW 2830
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Bathurst | Dubbo | Mudgee | Sydney | Tamworth

Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @
23 LEWIS ST, MUDGEE - LOT 1 DP56498
Title: COVER SHEET
Drawing Number: 35200 - A00
Revision: C

drawing schedule

A 00	COVER SHEET	REV C	DATED 14.05.2021
A 01	SITE PLAN	REV C	DATED 04.05.2021
A 02	LOWER FLOOR PLAN	REV C	DATED 14.05.2021
A 03	UPPER FLOOR PLAN	REV B	DATED 16.04.2021
A 04	ELEVATIONS	REV E	DATED 18.04.2021
A 05	SECTIONS	REV E	DATED 18.04.2021
A 06	SHADOW DIAGRAMS 1	REV C	DATED 27.05.2021
A 07	SHADOW DIAGRAMS 2	REV C	DATED 27.05.2021

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2019, the Plumbing Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works:

- AS1668 – Mechanical ventilation & air conditioning in Buildings
- AS3000 – Electrical installations, buildings, structures & premises (known as the safe wiring rules)
- AS1428.1 – General requirements for access – buildings
- AS2890.6 – Off-street parking, mandatory requirements
- AS1680.0 – Interior lighting – safe movement

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to Barnson Pty Ltd for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

For the purpose of the Building Code of Australia, Vol. 1, 2019, the development may be described as follows:

classification - BCA 'part A4'
The building has been classified as a 'Class 1A' building (upper floor) & Class 6 (lower floor)

rise in stories - BCA 'part C1.2'
The building has a rise in stories of two

effective height - BCA 'schedule 3 definitions'
The building has an effective height of zero, as less than 25 (m)

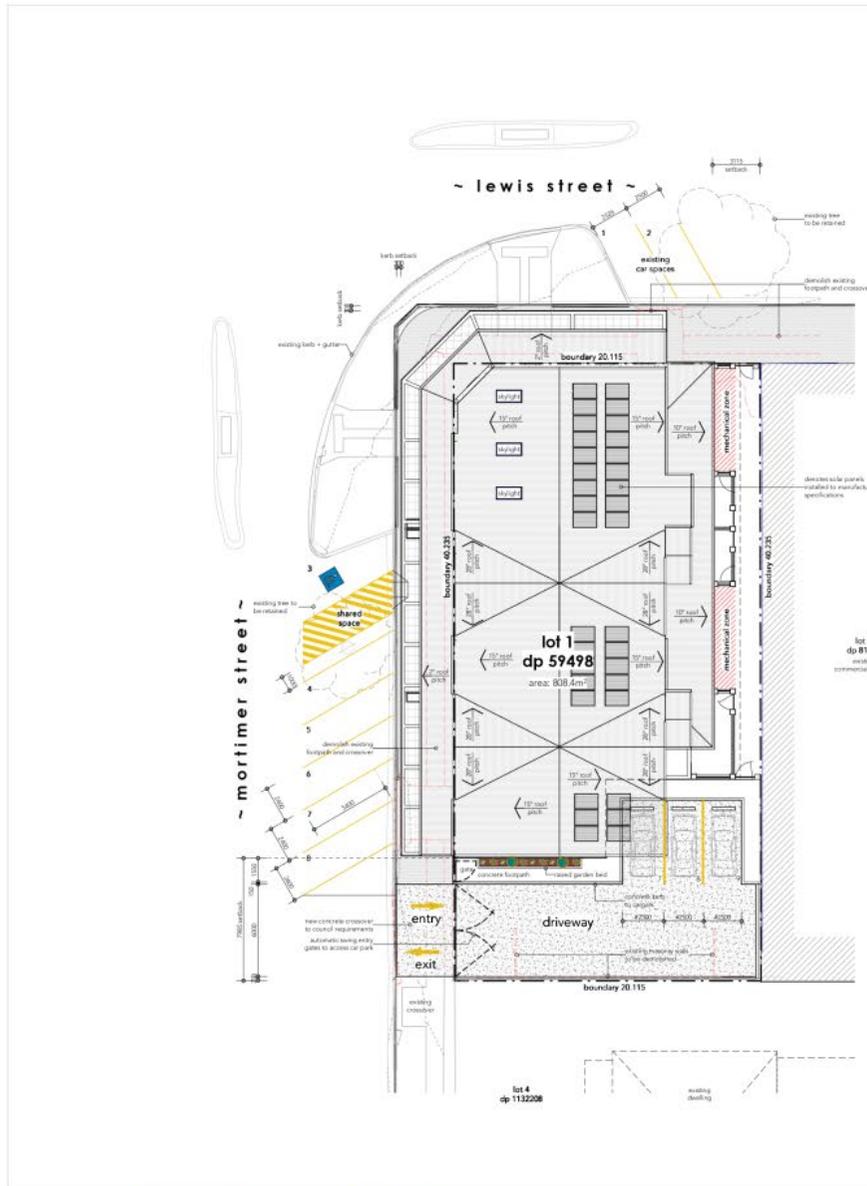
type of construction required - BCA 'part A4, part C1.1 - table C1.1'
Class 6 building - Type 'C' construction. The building has been deemed 'conditioned'

climate zone - BCA 'schedule 3 definitions'
The building is located within climate zone 4.

proposed area of works
23 Lewis Street, Mudgee
lot 1, dp56498



PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT
ISSUED FOR DA APPROVAL, 14.05.2021



01 site layout



area schedule:
totals

First Floor Units 1-3	480m ²
First Floor Bakery	164m ²
Ground Floor Tenancies 1-3	408m ²
total	1052m²
site area	808.4m ²

site notes:

general

This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:

- verify a G.I.
- obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works about existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

The contractor shall arrange all survey setout to be carried out by a registered surveyor.

drainage

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, graded drains shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, PS 3.1.4 - Stormwater drainage

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage

The contractor shall provide all temporary diversions drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.

plant schedule:

code	botanical name	common name	plant spacings	mature height	mature spread
☉	dianella caerulea	little jess	400mm	400mm	400mm
☼	dianella 'silver border'	border silver flag fly	300mm	500mm	600mm
●	baeckea virgata 'dwarf'	'dwarf' twiggly backee	750mm	500mm	500mm
●	athanasia dentata	little ruby	600mm	400mm	700mm

plant material notes:

Battery operated node controller dripper irrigation to all garden beds.

All plants shall be well grown, disease free nursery stock, & true to species type. No species shall be substituted without the approval of the superintendent. No variegated strain shall be used unless nominated.

All plants shall be of the size & quality consistent with the normal industry expectation for the nominated container size. Plants not consistent with the above may be rejected with replacement stock subject to the approval of the superintendent.

mulch notes:

19mm river gravel mulch to all garden beds.

Allow two agriform slow release pellets per 5.25 litre plant & one per 150mm plant. All fertilizer is to be applied in accordance with the manufacturers instructions.

To mass planting areas & street trees install 75mm thickness of graded pine bark as supplied by australian native landscapers p/l or approved equivalent. All mulch shall be free of vegetative reproductive parts of weeds.

ISSUED FOR DA APPROVAL



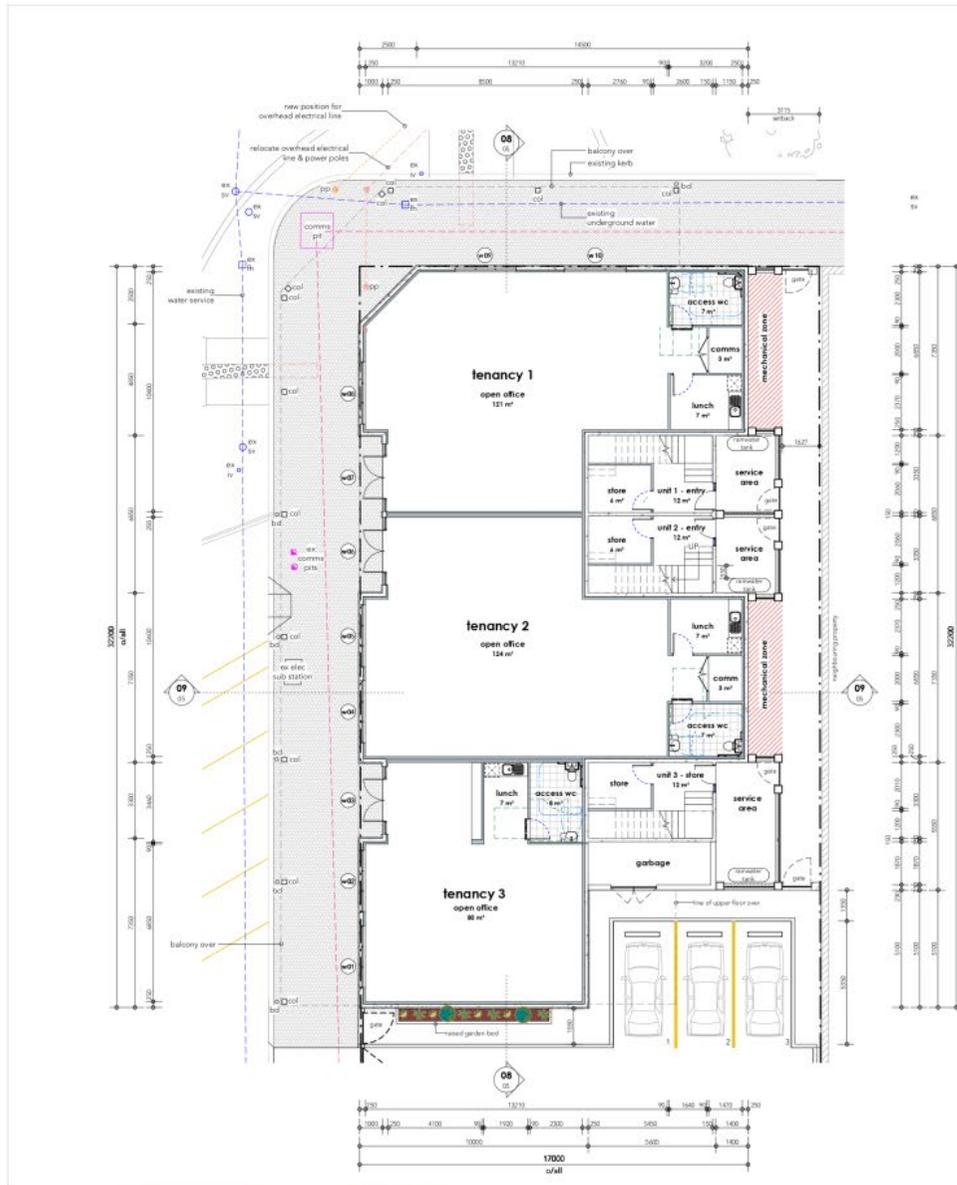
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Client: **MICHAEL FERGUS**
Project: **PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498**
Drawing Title: **SITE PLAN**

Rev	Date	Amendment
A	08.02.2021	PRELIMINARY
B	14.04.2021	ISSUED FOR REVIEW
C	14.06.2021	ISSUED FOR APPROVAL
D	27.06.2021	ISSUED FOR DEVELOPMENT APPLICATION
E	06.08.2021	ADD ACCESSIBLE PARKING SPACE

Design	Drawn	Check
KG	HS	KG
Sheet 02 of 08		
Drawing Number		Revision
35200- A01		E



02 lower floor plan



tenancy floor area

Tenancy 1	132 m ²
Tenancy 2	133 m ²
Tenancy 3	104 m ²
overall total	408 m²

totals

First Floor Units 1-3	480m ²
First Floor Balcony	164m ²
Ground Floor Tenancies 1-3	408m ²
total	1052m²

unit areas

Unit 1	
living	133 m ²
first floor landing	6 m ²
entry & store	20 m ²
balcony	90 m ²
Unit 2	
living	134 m ²
first floor landing	6 m ²
entry & store	20 m ²
balcony	37 m ²
Unit 3	
living	134 m ²
first floor landing	6 m ²
entry & store	20 m ²
balcony	37 m ²
total	644 m²

window schedule - lower

mark	location	height	width	head	description
01	tenancy 3	2100	2700	2700	aluminium framed - one fixed section, two awning sections & three fixed sections below
02	tenancy 3	2100	2700	2700	aluminium framed - one fixed section, two awning sections & three fixed sections below
03		2040	2950	2040	timber framed - 2 / external solid core hinged door with full glazed sections & select finish
04	tenancy 2	2100	2700	2700	aluminium framed - one fixed section, two awning sections & three fixed sections below
05	tenancy 2	2100	2700	2700	aluminium framed - one fixed section, two awning sections & three fixed sections below
06		2040	2950	2040	timber framed - 2 / external solid core hinged door with full glazed sections & select finish
07		2040	2950	2040	timber framed - 2 / external solid core hinged door with full glazed sections & select finish
08	tenancy 1	2100	2700	2700	aluminium framed - one fixed section, two awning sections & three fixed sections below
09	tenancy 1	2100	2700	2700	aluminium framed - one fixed section, two awning sections & three fixed sections below
10	tenancy 1	2100	2700	2700	aluminium framed - one fixed section, two awning sections & three fixed sections below

ISSUED FOR DA APPROVAL



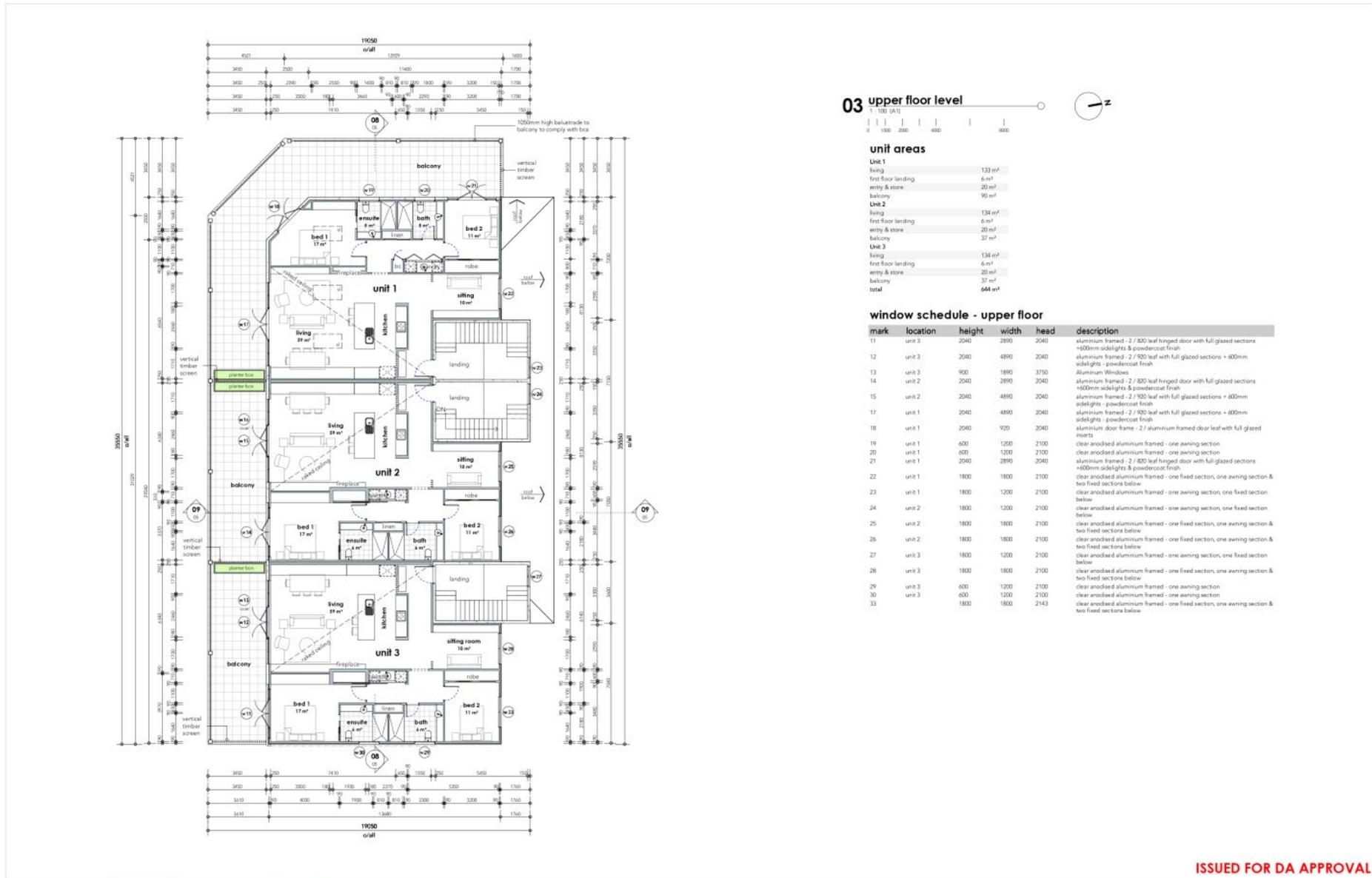
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Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: LOWER FLOOR PLAN

Rev	Date	Amendment
A	08.02.2021	PRELIMINARY
B	14.04.2021	ISSUED FOR REVIEW
C	14.06.2021	ISSUED FOR APPROVAL

Design: KG
Drawn: HS
Check: KG
Sheet: 03 of 08
Drawing Number: 35200- A02
Revision: C



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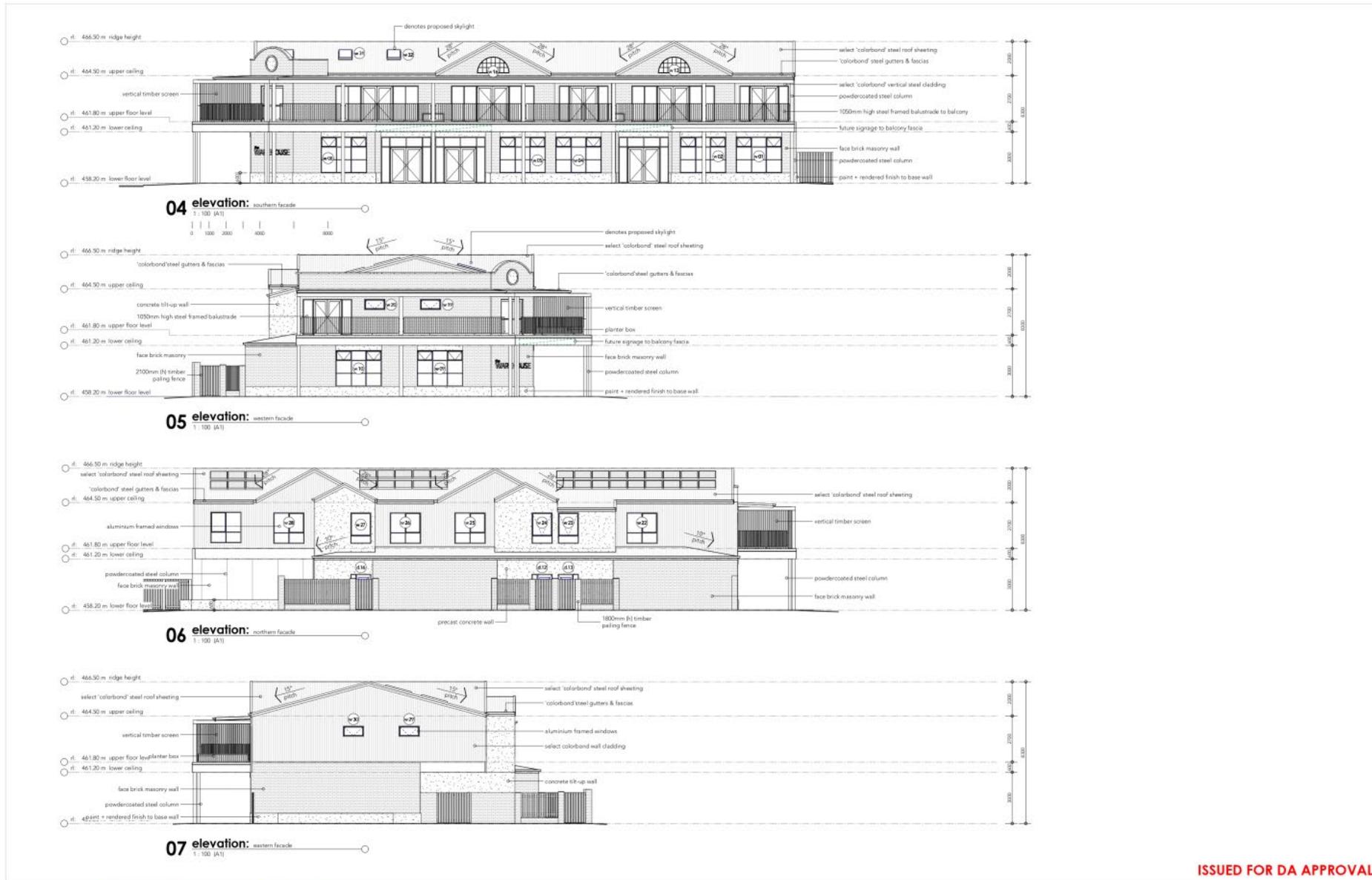
Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: UPPER FLOOR PLAN

Rev	Date	Amendment
A	14.06.2021	ISSUED FOR APPROVAL
B	18.06.2021	STUDY REPLACED WITH SITTING ROOM WALLS DELETED FOR OPEN SPACE LIVING AREA

ISSUED FOR DA APPROVAL

Design: KG
Drawn: HS
Check: KG

Sheet: 04 of 08
Drawing Number: 35200- A03
Revision: B



ISSUED FOR DA APPROVAL



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Client: **MICHAEL FERGUS**
Project: **PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498**
Drawing Title: **ELEVATIONS**

Rev	Date	Amendment
A	08.02.2021	PRELIMINARY
B	14.04.2021	ISSUED FOR REVIEW
C	14.05.2021	ISSUED FOR APPROVAL
D	27.05.2021	ISSUED FOR DEVELOPMENT APPLICATION
E	18.06.2021	STUDY REPLACED WITH SITTING ROOM WALLS DELETED FOR OPEN SPACE LIVING AREA

Design: **KG** Drawn: **HS** Check: **KG**
Sheet **05** of **08**
Drawing Number: **35200-A04** Revision: **E**



ISSUED FOR DA APPROVAL



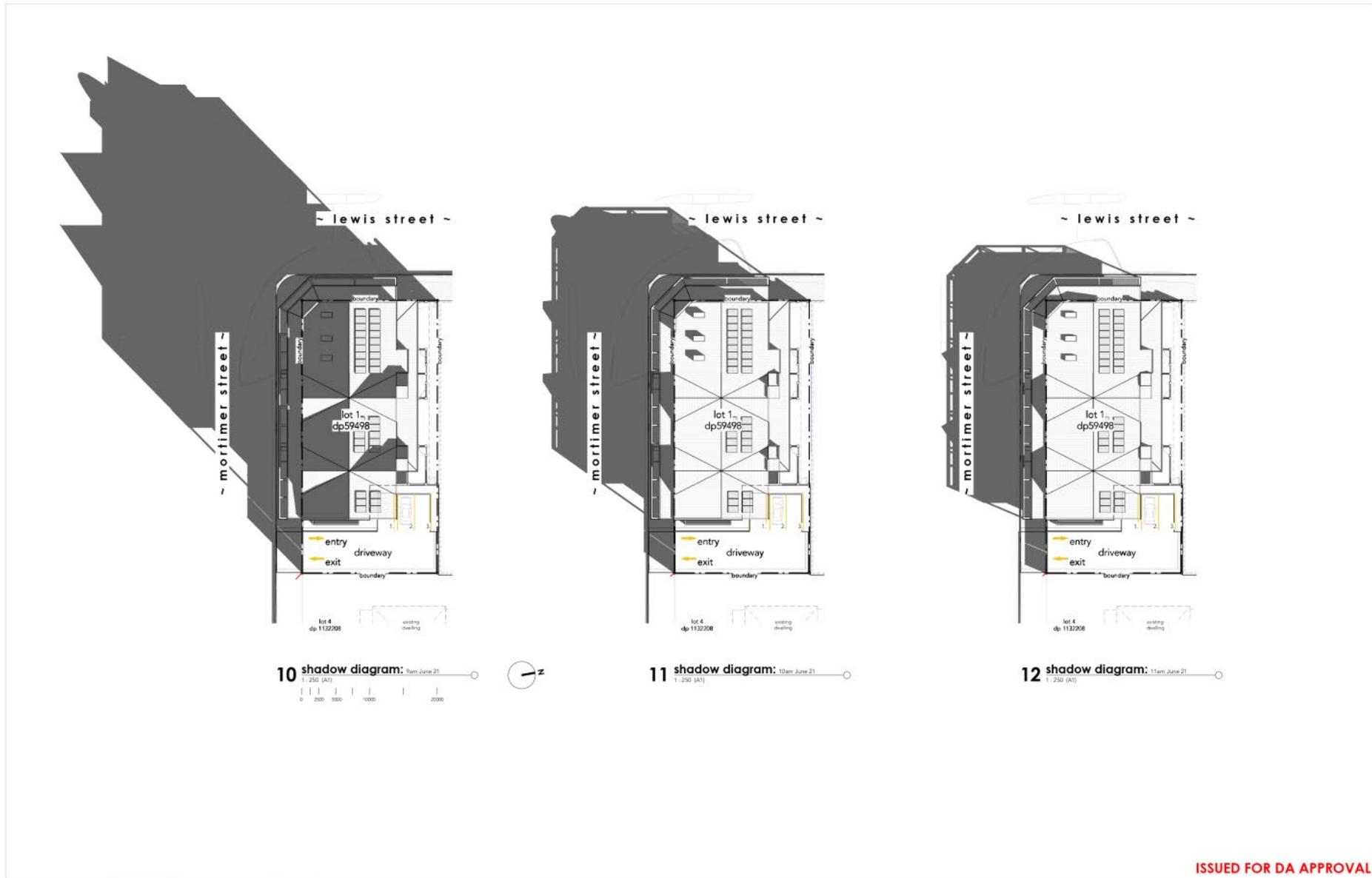
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Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: SECTIONS

Rev	Date	Amendment
A	08.02.2021	PRELIMINARY
B	14.04.2021	ISSUED FOR REVIEW
C	14.05.2021	ISSUED FOR APPROVAL
D	27.05.2021	ISSUED FOR DEVELOPMENT APPLICATION
E	18.06.2021	STUDY REPLACED WITH SITTING ROOM. WALLS DELETED FOR OPEN SPACE LIVING AREA

Design: KG
Drawn: HS
Check: KG
Sheet: 06 of 08
Drawing Number: 35200- A05
Revision: E



ISSUED FOR DA APPROVAL



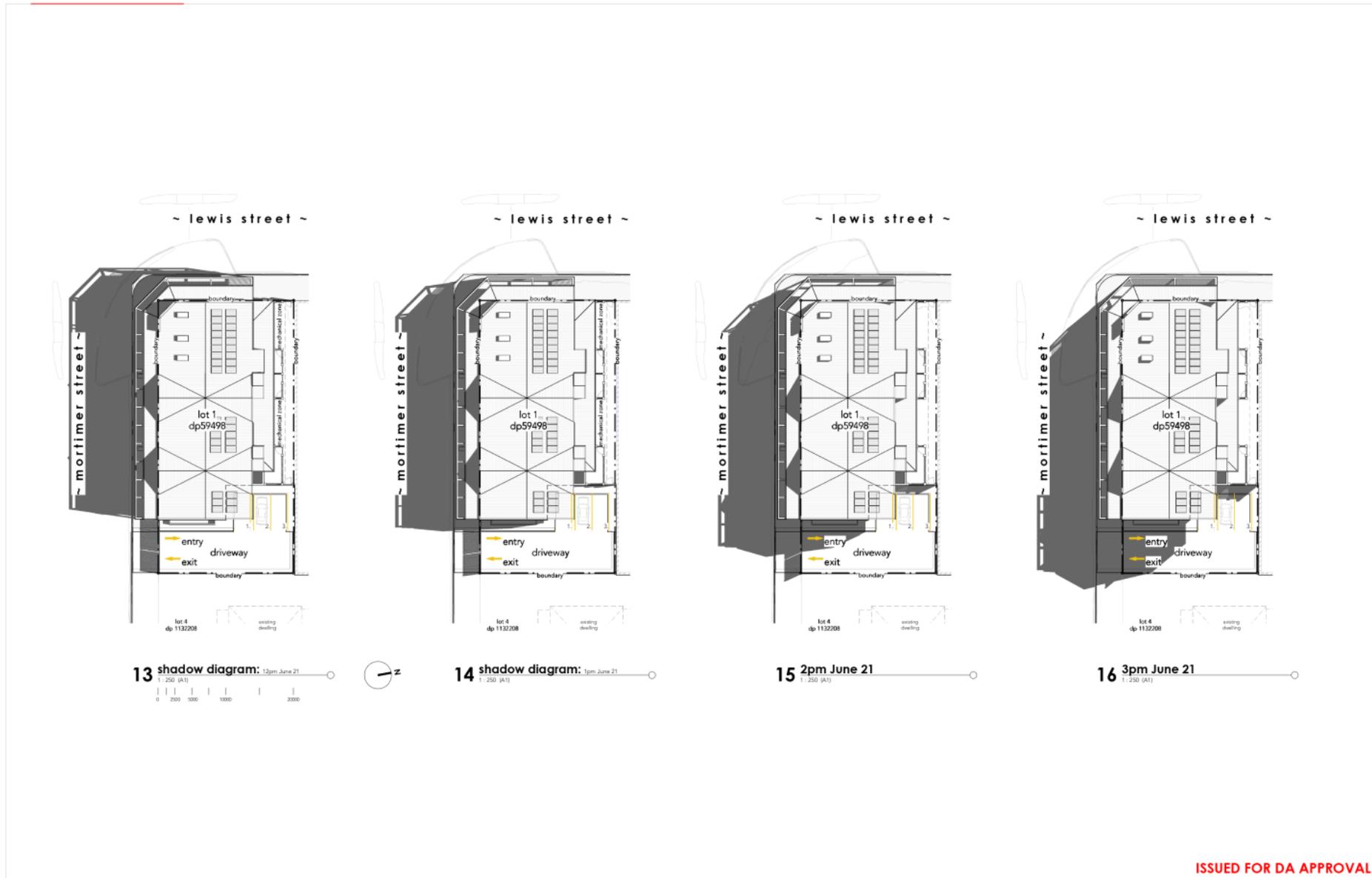
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Client: MICHAEL FERGUS
Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
Drawing Title: SHADOW DIAGRAMS 1

Rev	Date	Amendment
A	14.06.2021	ISSUED FOR REVIEW
B	14.06.2021	ISSUED FOR APPROVAL
C	27.06.2021	ISSUED FOR DEVELOPMENT APPLICATION

Design	Drawn	Check
KG	HS	KG
Sheet 07 of 08		
Drawing Number		Revision
35200- A06		C



ISSUED FOR DA APPROVAL



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Client: MICHAEL FERGUS
 Project: PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT @ 23 LEWIS ST, MUDGEE - LOT 1 DP56498
 Drawing Title: SHADOW DIAGRAMS 2

Rev	Date	Amendment
A	14.04.2021	ISSUED FOR REVIEW
B	14.05.2021	ISSUED FOR APPROVAL
C	27.05.2021	ISSUED FOR DEVELOPMENT APPLICATION

Design: KG
 Drawn: HS
 Check: KG
 Sheet 08 of 08
 Drawing Number: 35200- A07
 Revision: C



Appendix B - Traffic Counts

Gennaoui Consulting on behalf of Mid-Western Regional Council, 2014

Gennaoui Consulting Pty Ltd

Mudgee Traffic Management Plan

APPENDIX B DAILY TRAFFIC VOLUMES, CLASSES & SPEEDS IN MUDGEE															
Street	Location	Average Weekly Daily Traffic			Weekday Heavy Vehicles		Peak Hour				Speed				
		Weekday	Weekend	Weekly	Medium	Heavy	AM		PM		Mean	85 th	50>	60>	
							Vol	Time	Vol	Time					
1 Bellevue Road	west of Henry Bayli Dr	1326	990	1230	7.7%	0.3%	108	8am	135	4pm	52.8	59.8	65.4%	15.0%	
2 Burrundulla Ave	Horatio St & Denison St	931	578	830	4.10%	0.10%	82	8am	87	3pm	44.6	53.6	28.0%	4.0%	
3 Burrundulla Road	east of Sydney Road	1979	1216	1761	2.90%	0.10%	194	11am	195	1pm	27.3	32.4	0.1%	0.0%	
4 Church Street	Market St & Short St	4685	4818	4723	4.10%	0.00%	409	8am	422	5pm	33.3	39.2	0.5%	0.0%	
5 Church Street	Mealy St & Denison St	10059	8078	9493	2.70%	0.10%	725	8am	951	3pm	41.4	47.5	7.6%	0.4%	
6 Church Street	Meares St & Railway X	7818	6628	7478	1.40%	0.00%	631	8am	786	5pm	49.7	55.1	45.4%	4.0%	
7 Church Street	Spring Rd & Redbank Rd	1194	1149	1181	2.60%	0.10%	93	8am	122	5pm	49.8	56.5	49.0%	7.1%	
8 Denison Street	George St & Lawson St	553	452	524	3.10%	0.00%	54	8am	54	3pm	33	38.5	0.3%	0.0%	
9 Denison Street	Cox St & Gawthorne Pl	1554	1915	1657	3.30%	0.00%	96	8am	179	5pm	47.7	56.2	41.4%	7.0%	
10 Denison Street	Church St & Perry St	1063	657	947	3.40%	0.00%	118	8am	127	3pm	24.8	30.6	0.0%	0.0%	
11 Douro Street	Market St & Short St	1365	763	1193	7.60%	2.60%	127	8am	138	4pm	37.1	43.9	2.7%	0.1%	
12 Douro Street	Gladstone St & Mortimer St	7063	5747	6687	4.80%	2.00%	600	11am	641	4pm	44.2	51.5	22.8%	1.4%	
13 Douro Street	at Railway X	5266	4251	4976	2.7%	0.2%	532	8am	549	3pm	42.3	51.8	22.2%	1.8%	
14 Fairydale Lane	Gladstone St & railway X	126	102	119	7.7%	0.0%	9	8am	13	4pm	38.5	49	12.9%	2.4%	
15 Gladstone Street	Lewis St & Church St	1518	920	1347	1.0%	0.0%	149	8am	190	3pm	33	38.2	0.2%	0.0%	
16 Gladstone Street	Court St & Cox St	2276	2094	2224	2.5%	0.0%	167	8am	222	3pm	46.3	53.6	33.6%	3.3%	
17 Henry Bayli Drive	Baskerville Dr & Inglis St	696	623	675	10.3%	0.0%	51	8am	70	4pm	31.1	36	0.2%	0.0%	
18 Horatio Street	Lochel Ln & George St	8535	5123	7560	7.1%	1.9%	677	8am	876	4pm	48.4	54.4	41.7%	3.3%	
19 Horatio Street	Perry St & Douro St	4177	3012	3844	7.3%	2.7%	377	8am	396	3pm	44	51.1	19.8%	1.4%	
20 Inglis Street	Douro St & Court St	2289	1848	2163	4.0%	0.0%	176	8am	225	5pm	26.4	30.6	0.0%	0.0%	
21 Lawson Street	Gladstone St & Mortimer St	532	347	479	3.7%	0.0%	48	8am	66	3pm	33.6	38.9	0.6%	0.0%	
22 Lewis Street	Gladstone St & Mortimer St	3627	2231	3228	6.0%	1.0%	304	8am	370	3pm	44.8	51.8	23.3%	2.0%	
23 Lewis Street	Horatio St & Mealy St	2827	1693	2503	8.6%	1.2%	224	11am	303	4pm	41.4	47.5	8.0%	0.3%	
24 Lions Drive	Sydney Rd & Broadhead Rd	1471	1090	1362	4.9%	0.2%	134	8am	152	4pm	50.1	57.6	50.5%	9.2%	
25 Madeira Road	Church St & Atkinson St	2763	2088	2570	2.1%	0.0%	286	8am	285	3pm	38.7	46.1	5.1%	0.2%	
26 Madeira Road	west of Douro St	834	792	822	1.8%	0.0%	82	8am	78	5pm	51.8	60.1	61.3%	16.1%	
27 Market St	Lewis St & Church St	2141	1280	1895	5.7%	0.0%	233	8am	229	3pm	24.9	29.9	0.2%	0.0%	
28 Market St	Douro St & Court St	6875	5594	6509	6.5%	0.6%	593	8am	615	4pm	40.5	48.6	10.9%	0.5%	
29 Market St	Third St & Bell St	4917	4014	4659	5.7%	2.3%	428	8am	466	4pm	49.8	54.7	46.4%	4.0%	
30 Meares Street	Grant St & Church St	2357	1986	2251	2.2%	0.0%	162	9am	240	5pm	40.4	45.7	4.0%	0.1%	
31 Mortimer Street	Lawson St & Lewis St	1872	1564	1784	1.9%	0.1%	138	10am	181	4pm	46	53.6	31.2%	3.4%	
32 Mortimer Street	Cox St & Park Ave	885	721	838	1.3%	0.0%	63	11am	91	4pm	41.9	48.2	10.6%	0.7%	
33 Oporto Road	Madeira Rd & Norman Rd	3029	2427	2857	2.1%	0.0%	246	8am	294	4pm	41.6	47.5	8.5%	0.3%	
34 Perry Street	Market St & Short St	1514	737	1292	4.8%	0.0%	144	7am	173	2pm	21.3	24.5	0.0%	0.0%	
35 Perry Street	south of Market	4837	3007	4314	2.7%	0.0%	451	11am	547	3pm	32.5	41	1.4%	0.1%	
36 Robertson Street	Trefusis Ave & Madeira Rd	1776	1538	1708	2.4%	0.0%	163	8am	195	5pm	43.8	54.4	27.8%	5.5%	
37 Robertson Street	Abermethy & Trefusis Ave	1911	1715	1855	6.5%	0.1%	181	7am	195	3pm	55.9	63	81.3%	27.8%	
38 Short Street	Lewis St & Church St	2124	1501	1946	7.8%	1.8%	177	8am	213	4pm	40	46.8	6.9%	0.3%	
39 Short Street	Perry St & Douro St	1550	945	1377	7.4%	2.3%	126	8am	148	4pm	47.4	55.1	37.5%	5.4%	
40 Spring Road	Melton Rd & Church St	1543	1424	1509	3.6%	0.0%	137	8am	165	5pm	54.2	61.6	73.2%	20.4%	



Appendix C - Parking Surveys



Job: 35200
Date: 06-05-21

Zone	Capacity	Restriction	Occupied Spaces		
			9am	3pm	5pm
A	34	2P60	31	33	14
B	9	U60	9	9	4
C	17	U60	17	14	7
D	22	U60	14	19	9
E	104	U	80	78	60

Date: 07-05-21

Zone	Capacity	Restriction	Occupied Spaces		
			9am	3pm	5pm
A	34	2P60	29	34	12
B	9	U60	9	9	7
C	17	U60	16	14	7
D	22	U60	16	17	11
E	104	U	75	96	59

Date: 10-05-21

Zone	Capacity	Restriction	Occupied Spaces		
			9am	3pm	5pm
A	34	2P60	30	32	7
B	9	U60	9	9	2
C	17	U60	14	17	9
D	22	U60	12	17	7
E	104	U	74	77	63

Average

Zone	Capacity	Restriction	Occupied Spaces		
			9am	3pm	5pm
A	34	2P60	30	33	11
B	9	U60	9	9	4
C	17	U60	16	16	8
D	22	U60	14	18	9
E	104	U	76	84	61
Total	186		145	159	93

One Life Church INC



23rd July 2021

General Manager
Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850



Dear Brad,

Re: DA0415/2021 – PROPOSED Commercial Shop top housing @ 23 LEWIS STREET MUDGEE 2850 – LOT 1 DP 59498

Whilst I am not vehemently opposed to the abovementioned Development Application, I do wish to submit an objection and provide the grounds for my concerns herewith.

Who we are/what we do?

As you may be aware, our adjacent property and building located at [redacted] has for the past 26 years served our needs as a church and primary 'place of worship'. Apart from our regular Sunday services, we also run other programs throughout the week that cater for a wide range of age and social demographics from within our community.

On-street parking

Availability of on-street parking allocations along Lewis Street, whilst addressed by the applicant, could prove to conflict with some of our needs during meeting times. With competition from staff at St Matthews School, [weekdays] and from the already established local businesses, [weekends], the ability to locate a park close to our building, can at times prove challenging. Whilst the DA allows for some limited off-street parking, the addition of another commercial business in this vicinity has the potential to only increase the already limited parking available. I understand that reference has been made to the availability of public off street parking within proximity of the proposed development, however, practical experience proves time and again that this option is rarely sought by most motorists when attending businesses in the area.

[5.7.1 Any likely impacts of the development – Context & Setting]

Whilst the Statement of Environmental Effects makes mention to "commercial, retail and residential activities", no reference is made to a 'house of worship' being on its direct Northern boundary. I believe that the addition of a 'house of worship' and its activities should be considered for addition on the applicants Statement of Environmental Effects.

One Life Church INC

Neighbouring Noise [5.7.8 Noise]

During our occupation over the past 26 years, noise generated by our ordinary practise of worship has never been flagged as an area of concern by either residents or tenants of any neighbouring properties. We do both play and perform live music through sound amplification equipment. I do hold some concerns around the potential impact this could have on the upper level of the proposed building of the DA being reserved for some form of residential occupancy.

As already stated, this has always been a part of our ordinary practise of worship, and we would like to ensure that this remains unchanged. Possible countermeasures for sound/acoustic penetration may want to be employed, [if not already considered] by the applicant should their application be approved to mitigate any possible future concerns.

Noise During construction. It would be appreciated if a curfew on construction work was included by the applicant to prohibit works on-site on Sunday's during our regular meeting times of 10:00am – 12:00pm.

Should you need to contact me to discuss any of the contents of this letter, please don't hesitate to get in touch with myself via any of the contacts provided.

Yours faithfully

Ken Sauerbier – Senior Pastor
One Life Church INC Mudgee



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Our Reference: 35200-PL01_A

26/08/2021
Mid-Western Regional Council
Att: *The General Manager*
PO Box 156
Mudgee NSW 2850

Dear Sir/Madam,

Response to Further Information Request - DA0415/2021 for Commercial Development (Shop Top Housing) at 23 Lewis Street, Mudgee

Reference is made to Council's letter dated 27 July 2021 requesting further information for the assessment of the abovementioned Development Application. The following information is provided to satisfy the further information request.

Heritage Impact Statement

A Statement of Heritage Impact (SoHI) has been enclosed to this report, prepared by Barbara Hickson Architect and Heritage Advisor. The Statement concludes that the proposed development is acceptable and appropriate infill because it addresses the corner; it is well designed in bulk and scale, with sufficient interest to counterbalance and reflect the existing listed building of similar scale diagonally opposite; and it will contribute to the streetscapes of Lewis and Mortimer Streets in the Mudgee Conservation Area. The Development Plans have been enclosed as well to reflect the recommendations of the SoHI, in particular the recommended brick and interpretation panel on the outer wall of the building.

Amended Servicing Plans

Amended Servicing Plans for water and sewer changes have been enclosed to this letter. These changes clearly demonstrate the point of connections proposed to the infrastructure, along with confirmation of adequate fall/grade for sewer.

Amended Site Plan

Amended Development Plans have been enclosed to this report which provide details to replace the masonry wall on the eastern boundary. In addition, turning circles/vehicular movements have been shown on the amended site plan.

Modified Traffic Impact Assessment Report

A modified Traffic Impact Assessment has been enclosed to this letter. The following is in response to the items stipulated in Council's letter:

- The number of street parking spaces has been corrected on the amended Development Plans. The original application had provision for eleven (11) spaces. Given that two (2) street trees are



to be retained and the provision of a disabled space with shared zone is required, the total number of carparking spaces within the frontage is reduced to eight (8). Whilst it is noted that this is a reduction in carparking calculations, the justification provided in the submitted Statement of Environmental Effects and modified TIA remain unchanged as the traffic conditions in this area are considered suitable for the proposed uses and existing operations in the immediate locality. Furthermore, retaining these street trees is considered of high importance to reduce the bulk and scale of the proposed building and to add greenery for the frontage, consistent with the Mudgee CBD streetscape;

- The zones A, B, E and F referred to in the original TIA have been removed from the assessment, in particular the parking surveys in Section 3.1.1 and Appendix C of the modified TIA;
- Barnson have reviewed the parking zones within Mortimer Street between Lewis Street and Church Street. It appears that neither of these zones have an enforced timed parking limit. The unrestricted parking in these locations have therefore been retained in the assessment. The carparking spaces along Mortimer Street have a high utilisation rate, and as such the assessment does not solely rely on them for the overall assessment. However, they do need to be included in the assessment as they are for public use and likely to be used by visitors of the proposed development. The fact that this area has high utilisation does not necessarily impact on the parking status of the area. There is a plethora of parking opportunities in the overall locality, as stipulated in the modified TIA;
- Within the parking survey in the modified TIA, we have only counted the marked parking spaces in this carpark. However, there is at least the same capacity again in unmarked spaces. Even if all marked spaces are taken, there is still a plethora of spaces available to allow parking and manoeuvring for both commercial and private vehicles within the unmarked area, which is frequently used by the community;
- A disabled space and shared zone has been provided at the front of the site.

Impact on Substation and Power Pole

Consultation was undertaken between Barnson and Essential Energy representative Fiona Duncan. As a result of those discussions, it was determined that the positioning of the power pole and associated infrastructure would be undertaken as part of Essential Energy's Contestable Works process. The correspondence pertaining to these discussions were provided to Council via the NSW Planning Portal and have been enclosed to this letter for Council's perusal.

Response to Submission

It is understood that Council received one (1) submission during the notification period of the subject DA. The submission was by One Life Church and contained four (4) concerns with regard to the proposed development. These concerns have been addressed below.



On-Street Parking

The discussions made within the submitted Statement of Environmental Effects and modified Traffic Impact Assessment satisfies these concerns. The parking survey reveals that there is a plethora of parking opportunities within proximity to the subject site.

Any Likely Impacts of the Development – Context and Setting

It is understood that the One Life Church (place of worship) adjoins the subject site along the northern boundary. The Church has been in existence on this site for an extended period of time, being situated in a built up commercial area. The proposed development, as designed, is compatible with the desired character of the locality and the design is in keeping with the heritage influence of the locality, and in this case the nearby place of worship. The development is therefore unlikely to impact on the context or setting of the locality and would contribute to the mixed-use of the area.

Neighbouring Noise

Both construction and operational noise shall be limited in accordance with Council's requirements. Operational noise is limited to residential occupancies and offices on the ground floor, which in itself is minimal. Hours of operation for construction and operation can be conditioned.

Noise during Construction

Construction hours shall be limited to Council's requirements.

I trust that the above information and enclosed documentation provides assistance for the continued assessment of the subject DA. Should you require any additional information, please do not hesitate to contact the undersigned.

Yours faithfully,

BARNSON PTY LTD

A handwritten signature in black ink, appearing to read "Jack Massey".

Jack Massey
Senior Town Planner

Enclosed:

- Heritage Impact Statement
- Amended Servicing Plans
- Amended Development Plans
- Modified Traffic Impact Assessment
- Correspondence with Essential Energy



Gateway Determination

Planning proposal (Department Ref: PP-2021-3019): to rezone land from zone RU1 Primary Production to zone R5 Large Lot Residential and amend the minimum lot size to 12ha for land at 705 Springfield Lane, Gulgong.

I, the Director, Western Region at the Department of Planning, Industry and Environment, as delegate of the Minister for Planning and Public Spaces, have determined under section 3.34(2) of the *Environmental Planning and Assessment Act 1979* (the Act) that an amendment to the Mid-Western Regional Local Environmental Plan (LEP) 2012 to rezone land from zone RU1 Primary Production to zone R5 Large Lot Residential and amend the minimum lot size to 12ha for land at 705 Springfield Lane, Gulgong should proceed subject to the following conditions:

1. Prior to community consultation a revised planning proposal is to be resubmitted that addresses the following:
 - a. Potential contamination - a preliminary contamination investigation to demonstrate to Council that the subject land is suitable or can be made suitable for the proposed large lot residential use.

Council is to seek approval from the Department of Planning, Industry and Environment – Western Region prior to undertaking community consultation.

2. The planning proposal is to be publicly exhibited within **four (4) months** from the date of the Gateway determination. Public exhibition is required under section 3.34(2)(c) and schedule 1 clause 4 of the Act as follows:
 - (a) the planning proposal must be made publicly available for a minimum of **14 days**; and
 - (b) the planning proposal authority must comply with the notice requirements for public exhibition of planning proposals and the specifications for material that must be made publicly available along with planning proposals as identified in section 6.5.2 of *A guide to preparing local environmental plans* (Department of Planning and Environment, 2018).
3. Consultation is required with the following public authorities/organisations under section 3.34(2)(d) of the Act and/ or to comply with the requirements of section 9.1 Directions:
 - Department of Planning, Industry and Environment – Environment, Energy and Science; and
 - Transport for NSW

Each public authority/organisation is to be provided with a copy of the planning proposal and any relevant supporting material and given at least 21 days to comment on the proposal.

4. A public hearing is not required to be held into the matter by any person or body under section 3.34(2)(e) of the Act. This does not discharge Council from any obligation it may otherwise have to conduct a public hearing (for example, in response to a submission or if reclassifying land).
5. The planning proposal authority is authorised as the local plan-making authority to exercise the functions under section 3.36(2) of the Act subject to the following:
 - (a) the planning proposal authority has satisfied all the conditions of the Gateway determination;
 - (b) the planning proposal is consistent with section 9.1 Directions or the Secretary has agreed that any inconsistencies are justified; and
 - (c) there are no outstanding written objections from public authorities.
6. Prior to submission of the planning proposal under section 3.36 of the Act, the final LEP maps must be prepared and be compliant with the Department's 'Standard Technical Requirements for Spatial Datasets and Maps' 2017.
7. The time frame for completing the LEP is to be **9 months** following the date of the Gateway determination.

Dated 18th day of May 2021.



Garry Hopkins
Director, Western Region
Local and Regional Planning
Department of Planning, Industry and
Environment

Delegate of the Minister for Planning
and Public Spaces

PLANNING PROPOSAL CASTLEREAGH HIGHWAY GULGONG

705 Springfield Lane

October 2020



ATLAS
ENVIRONMENT & PLANNING

Emma Yule t/a Atlas Environment and Planning (Atlas), responsible for the preparation and contents and information provided within this report declare that there is no current benefit nor expect to have a beneficial interest in the study area of this project and will not benefit from any of the recommendations outlined in this report.

The preparation of this report has been in accordance with the project brief provided by the client and has relied upon the information, data and results provided or collected from the sources and under the conditions outlined in the report.

Atlas accepts no liability for the accuracy or completeness of the data and information provided to it by, or obtained by it, from any third parties, even if that data has been incorporated into or relied upon for generating this report.

This report has been produced by Atlas using information that is available to the client as at the date stated within this report and cannot be relied upon in any way if situations at the subject site changes. Atlas is under no obligation to update the information contained within the report at any time.

This report has been prepared on behalf of and for the exclusive use of the Atlas client and is subject to and issued in connection with the provisions of the agreement between Atlas and its client. All information contained within this report are prepared for the exclusive use of the client to accompany this report for the land described herein and are not to be used for any other purpose or by any other person or entity. No reliance should be placed on the information contained in this report for any purposes apart from those stated therein. Atlas accepts no responsibility for any loss, damage suffered or inconveniences arising from, any person or entity using the plans or information in this study for purposes other than those stated above.

VERSION AND AMENDMENT CONTROL HISTORY

VERSION	DATE	DESCRIPTION	QA/QC
001	OCT 2020	DRAFT FOR CLIENT REVIEW	CLIENT
002	OCT 2020	FINAL	EY
003	AUG 2021	AMEND TO REFER TO BARNSON REPORT	EY
004	AUG 2021	AMEND REFER T O MINISTERIAL DIRECTION 2.6	EY



1 OBJECTIVES AND INTENDED OUTCOMES OF THE PROPOSAL

1.1 STATEMENT OF INTENDED OUTCOMES

This planning proposal is intended to:

- Enable the land (approximately 82.3ha) to be developed into a rural lifestyle opportunity, with a minimum lot size of 12ha.

This is consistent with the Mid-Western Regional Comprehensive Land Use Strategy, which outlines suitable areas for rural residential expansion around Gulgong – Short term area - Sector E.

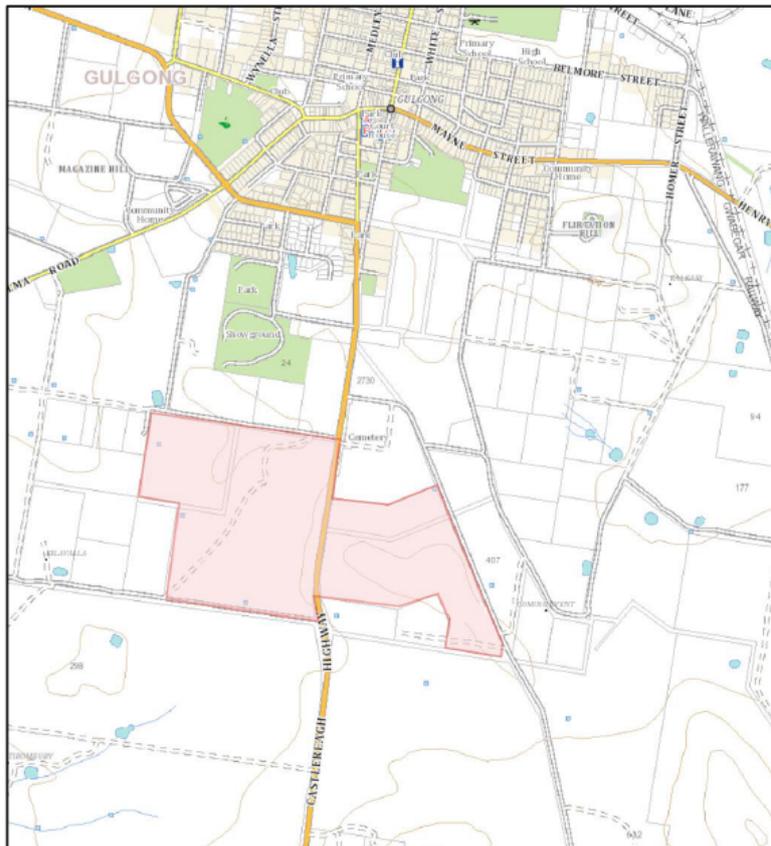


Figure 1: Location plan showing proximity of subject site to Gulgong

(Source: SIX Maps)



1.2 DETAILS OF THE PROPOSED DEVELOPMENT AND CONCEPT PLAN

The central purpose of this planning proposal is to make the necessary amendments to the Mid-Western Regional Local Environmental Plan 2012 (MWRLEP 2012) to enable the creation of dwelling entitlements as opportunity for future rural lifestyle living opportunity in close vicinity to Gulgong, with minor subdivision requirement (i.e. utilise existing land titles where possible). The site is gently undulating, creating an opportunity for a high quality rural/residential environment with limited constraints to be considered.

It is envisaged that the min. 12ha lots to be created; either through consolidation or subdivision; will not rely on reticulated services. The lots are of a size sufficient to be able to incorporate an on-site sewage management system (OSSM) and have individual bores for a domestic water source and rely upon rainwater as the source of primary potable water. A concept plan has been prepared, which details the likely development outcome for the site taking into consideration existing lot patterns, road access, servicing, and amenity to be afforded to each lot. The land has several public road frontages (and will not rely on Castlereagh Highway for access).

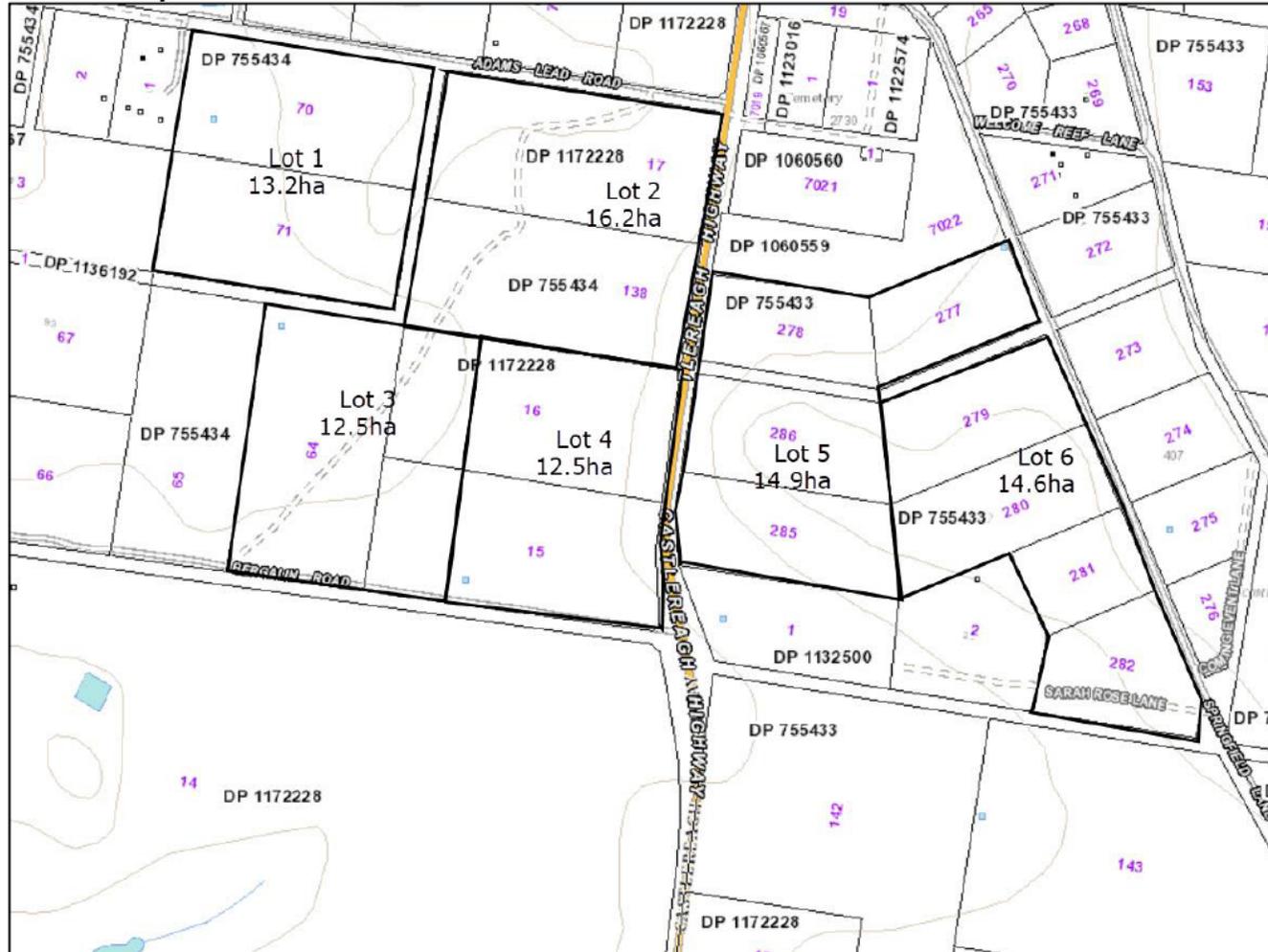
Summary:

Concept - Min lot size - 12 ha		
Potential for 6 dwelling entitlements		
No new road		
LOT	AREA	DESCRIPTION
Proposed Lot 1	13.2ha	Consolidation of Lot 70 and 71 in DP755434. Access - Adams Lead Road.
Proposed Lot 2	16.2ha	Consolidation of Lot 17 in DP1172228 and Lot 138 in DP755434. Access - Adams Lead Road.
Proposed Lot 3	12.5ha	Subdivision of Lot 64 in DP755434 and Lots 15 & 16 in DP1172228 Access – Bergalin Road.
Proposed Lot 4	12.5ha	Subdivision of Lot 64 in DP755434 and Lots 15 & 16 in DP1172228 Access – Bergalin Road.
Proposed Lot 5	14.9ha	Consolidation of Lots 277, 278, 285 & 286 in DP755433. Access - Springfield Lane.
Proposed Lot 6	14.6ha	Consolidation of Lots 279, 280, 281 & 282 in DP755433. Access - Springfield Lane.

Planning Proposal – Castlereagh Highway



1.2.1 Concept 1 – 12ha min lot size



**Figure 2:
Concept
Plan – min
12ha lot size**



2 EXPLANATION OF PROVISIONS

The following formal amendments to the MWRLEP 2012 are proposed to facilitate the intended outcomes of the proposal discussed in Part 1:

- Amend LZN_005C and LZN_005 to show the subject land as R5 Large Lot Residential (currently RU1 Primary Production); and
- Amend LSZ_005C and LSZ_005 to show the minimum lot size as 12ha (currently 100ha).

3 JUSTIFICATION

This section sets out the reasoning and justification for the proposed changes to the MWRLEP 2012, which ultimately will lead to further development of the site in line with the stated intended outcomes outlined in Part 1.

The following questions are in line with the requirements set out by the NSW Department of Planning and Environment through their document *A Guide to Preparing Planning Proposals (August 2016)*.

SECTION A - Need for the planning proposal

Q1: Is the planning proposal the result of any strategic study or report?

Answer: YES

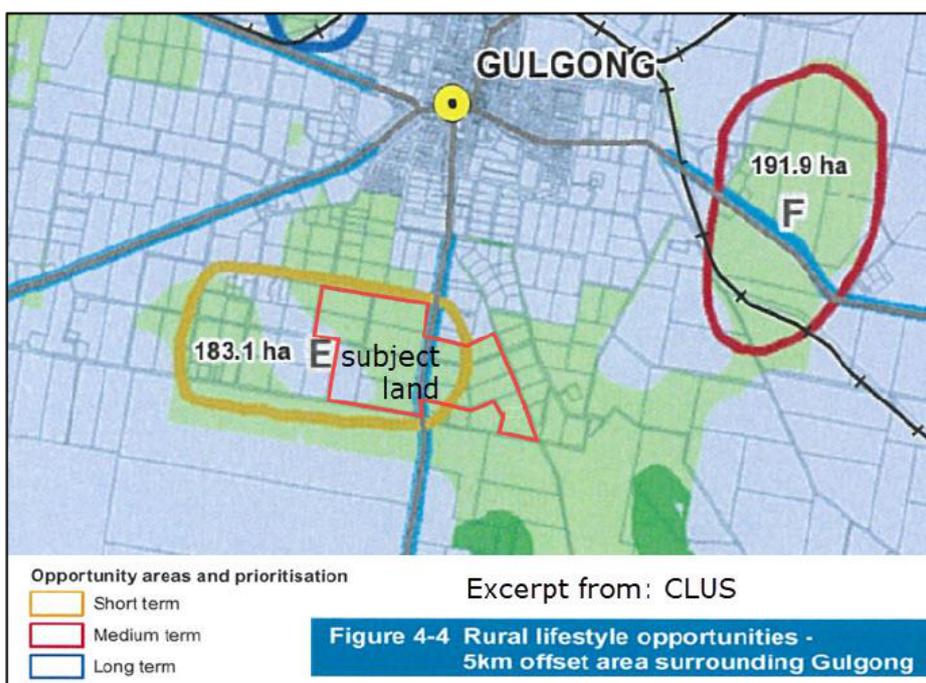


Figure 3: Excerpt from CLUS showing subject land in Precinct E – SHORT TERM RELEASE AREA



The *Mid-Western Regional Comprehensive Land Use Strategy* (CLUS) prepared by Parsons Brinckerhoff and originally endorsed by Council in 2010 was developed to guide future land use planning in the Mid-Western Region and identify opportunities for growth.

The CLUS identifies the subject site (described as the precinct E) as a short-term opportunity to develop rural lifestyle lots with a minimum lot size of 12ha. This is further reflected in **Figure 4-4 of the CLUS**, which details the map indicating the area as a future large lot residential opportunity.

Page 69 of the CLUS refers to the subject land.

“Two contiguous opportunity areas have been identified as short-term rural lifestyle, namely sectors C and E, to the west and south of Gulgong respectively.” The CLUS goes on to indicate *“These opportunity areas should be prioritised for rural lifestyle development and investigated under the Rural Land Release Strategy. The minimum lot size for these opportunity areas should generally be 12 hectares. Council may consider 2-6 hectare lots within section E if reticulated water is available, as this sector borders the existing settlement area and would provide an alternative lot size for the Mudgee/Gulgong market (i.e. the subject land).*

The CLUS clarifies that this would cater to the residential market rather than a rural one. This planning proposal seeks to keep a rural setting and provide a supply of rural lifestyle lots. The CLUS identified that an estimated demand of 5 lots per annum, can be assumed for Gulgong. This demand has not been met in recent years in line with the CLUS.

Q2: Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Answer: YES

Both the RU1 (current zone) and R5 (proposed zone) zones are ‘open zones’ for the purposes of permitted land uses. A review of the land use table for the R5 Large Lot Residential zone has not revealed any potential land uses that would be rendered *‘permitted with consent’* as a result of the proposal that would be envisaged to cause any conflict with adjoining rural and residential uses.

It is considered that the planning proposal with LEP map amendments, is the necessary avenue to achieve the intended outcomes. A review of the current MWRLEP 2012 has revealed that there is no other option to currently achieve the provision of rural lifestyle lots and meet the CLUS target for land south of Gulgong. In this case both a zoning and lot size map amendment is considered appropriate and necessary to achieve the outcomes sought.

SECTION B - Relationship to the strategic planning framework

Q3: Is the planning proposal consistent with the objectives and actions of the applicable regional or sub-regional strategy?

Answer: YES



Mid-Western Regional Council falls within the 'Central West and Orana Region' and has therefore been included in the *Central West and Orana Regional Plan 2036*.

The plan broadly identifies areas for more economical expansion and associated housing opportunities throughout the region, including the Mid-Western Regional LGA. In particular, Goal 4 - Dynamic, vibrant and healthy communities, discusses various actions for more housing variety including Direction 28 'Manage rural residential development'.

Direction 28 aims to promote a consistent approach to identifying new areas for rural residential development. Whilst the site has already been identified within the CLUS as potential future rural lifestyle lots, the actions detailed in Direction 28 below are still considered relevant in supporting this planning proposal.

The actions are as follows:

ACTION 28.1 Locate new rural residential areas:

- *close to existing urban settlements to maximise the efficient use of existing infrastructure and services, including roads, water, sewer and waste services, and social and community infrastructure.*
- *to avoid and minimise the potential for land use conflicts with productive, zoned agricultural land and natural resources; and*
- *to avoid areas of high environmental, cultural or heritage significance, regionally important agricultural land or areas affected by natural hazards.*

Comment: The site is in very close proximity to Gulgong and therefore benefits from good connections and access to all the necessary services on offer and required for rural setting for housing envisaged.

As detailed throughout this proposal there are no significant conflicts with the land and other surrounding uses and minimal constraints with regards to natural hazards or environmental considerations.

ACTION 28.2 Enable new rural residential development only where it has been identified in a local housing strategy prepared by Council and approved by the Department of Planning and Environment.

Comment: The CLUS has identified this particular site as suitable for future rural lifestyle development and will support a variety of housing lot types in association with Gulgong.

ACTION 28.3 Manage land use conflict that can result from cumulative impacts of successive development decisions.



Planning Proposal – Castlereagh Highway

Comment: No significant compatibility issues have been identified with the proposal with the additional rural lifestyle opportunity. The further development of the land into 2ha lots was also identified in the CLUS and this proposal can be seen as a logical development decision for implementation of the adopted Strategy for the Gulgong surrounds.

Q4: Is the planning proposal consistent with a council's local strategy or other local strategic plan?

Answer: YES

At Council's 20 May 2020 meeting, Council adopted the Local Strategic Planning Statement. The Mid-Western Regional Local Strategic Planning Statement (LSPS) outlines the vision for land use planning in the Mid-Western Region and details Planning Priorities along with Land Use Actions to achieve the Planning Priorities. The Land Use Actions outline where Council will focus its strategic land use planning project work in the future.

The subject land falls within the area identified in the Gulgong Structure Plan as the southern 'main entrance corridor' to Gulgong. Supporting the aesthetic appeal of the town is planning priority identified in the LSPS.

However, planning priority 2 is most relevant to this proposal – i.e.

Make available diverse, sustainable, adaptable and affordable housing options through effective land use planning.

The LSPS supports maintenance of a variety of housing options across the Region. The proposed rural housing opportunities will keep the entrance to Gulgong a rural setting, and support the variety in housing options close to the town. The planning proposal supports the implementation of the *Mid-Western Regional LSPS* and *Central West and Orana Regional Plan 2036*.

Comprehensive Land Use Strategy (CLUS)

The CLUS prepared on behalf of MWRC provides the most relevant guidance. The Strategy provides a basis for identifying options for MWRC to meet long term urban and rural growth needs. The CLUS also identifies the need for residential opportunities in a rural setting. As identified at Q1 - the CLUS identifies the subject site (described as the precinct E) as a short-term opportunity to develop rural lifestyle lots with a minimum lot size of 12ha. This proposal aligns with the CLUS.

In addition, the CLUS identifies some areas for large lot residential expansion within the Gulgong Town Structure Plan (see below). A second concept below is provided to demonstrate the consistency. Where the land is developed for 12ha lots, this is not to the detriment of the potential for future development of 2ha lots in accordance with the structure plan (& subject to meeting service levels).

Planning Proposal – Castlereagh Highway

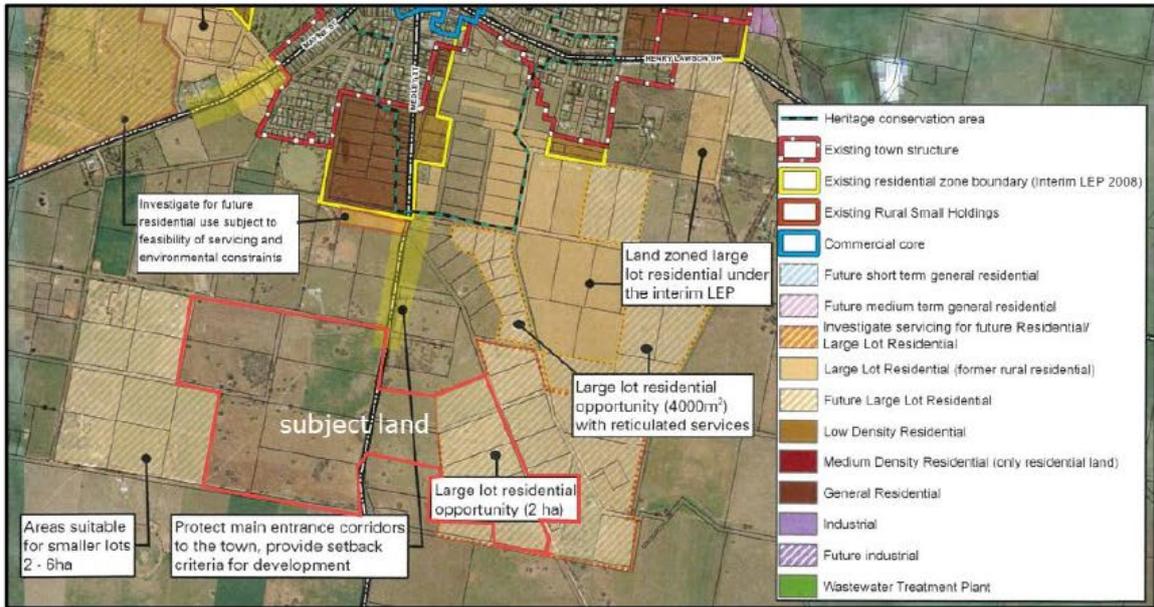


Figure 3: Extract from the CLUS indicating the opportunity for the subject site

(MWR CLUS: Parsons Brinckerhoff)



3.1.1 Concept 2 – Incorporate future 2ha min lot size as per CLUS

This second concept demonstrates that the land has potential for further development subject to a separate proposal (i.e. concept 2 demonstrates that a reduced minimum lot size of 12ha does not hinder the further development potential in line with the Gulgong Town Structure Map (opportunity for 2ha lots on available frontage to Springfield Lane)).

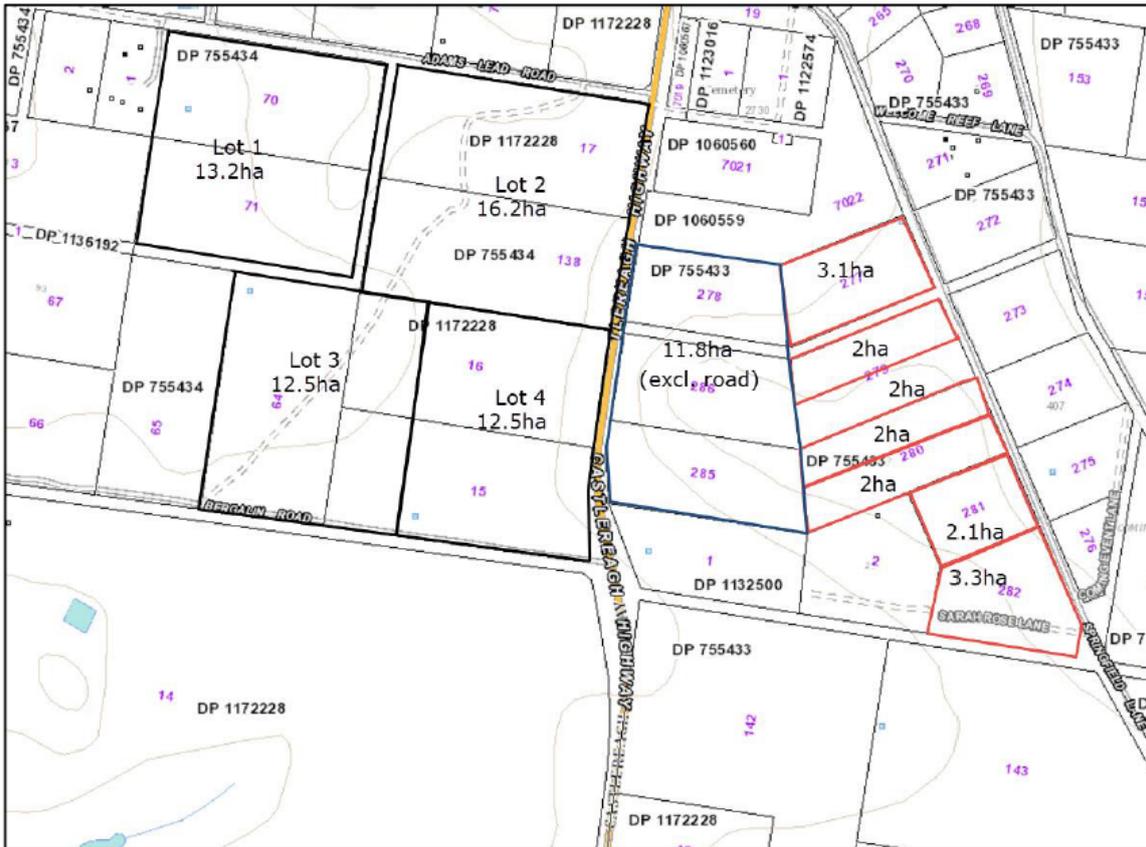


Figure 4: Concept Plan – additional opportunity for 2ha lots



Planning Proposal – Castlereagh Highway

Q5: Is the planning proposal consistent with applicable State Environmental Planning Policies?

Answer: YES

SEPP	Applicable/Consistency
State Environmental Planning Policy (Affordable Rental Housing) 2009: Land Application (pub. 31-7-2009)	Not applicable to the proposal.
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004: Land Application (pub. 25-6-2004)	Not applicable to the proposal.
State Environmental Planning Policy (Concurrences) 2018: Land Application (pub. 21-12- 2018)	Not applicable to the proposal.
State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017: Land Application (pub. 1-9-2017)	Not applicable to the proposal.
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)	Not applicable to the proposal.
State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004: Land Application (pub. 31-3-2004)	Not applicable to the proposal.
State Environmental Planning Policy (Infrastructure) 2007: Land Application (pub. 21-12- 2007)	Classified Road Adjacent – Castlereagh Highway – No new accesses are proposed onto the Highway for future housing opportunities. The property is located near electrical infrastructure and future development will need to consider any interaction and location of easements.
State Environmental Planning Policy (Koala Habitat Protection) 2019: Land Application (pub. 20-12-2019)	Not applicable at Proposal stage. At development application consideration of any land clearing to consider potential for feed tree species. Land is mostly cleared.
State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007: Land Application (pub. 16-2-2007)	Not applicable to the proposal.
State Environmental Planning Policy (Miscellaneous Consent Provisions) 2007: Land Application (pub. 28-9-2007)	Not applicable to the proposal.
State Environmental Planning Policy (Primary Production and Rural Development) 2019: Land Application (pub. 28-2-2019)	See below.
State Environmental Planning Policy No 1—Development Standards: Land Application (pub. 17-10-1980)	Not applicable to the proposal.
State Environmental Planning Policy No 21—Caravan Parks: Land Application (pub. 24-4- 1992)	Not applicable to the proposal.
State Environmental Planning Policy No 33—Hazardous and Offensive Development: Land Application (pub. 13-3-1992)	Not applicable to the proposal.
State Environmental Planning Policy No 36—Manufactured Home Estates: Land Application (pub. 16-7- 1993)	Not applicable to the proposal.
State Environmental Planning Policy No 50—Canal Estate Development: Land Application (pub. 10-11-1997)	Not applicable to the proposal.
State Environmental Planning Policy No 55—Remediation of Land: Land Application (pub. 28- 8-1998)	See below.
State Environmental Planning Policy No 64—Advertising and Signage: Land Application (pub. 16-3-2001)	Not applicable to the proposal.
State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development: Land Application (pub. 26-7-2002)	Not applicable to the proposal.



Planning Proposal – Castlereagh Highway

The following SEPP's are considered most relevant to the planning proposal.

State Environmental Planning Policy (Primary Production and Rural Development) 2019

The land is not identified as state significant agricultural land. No aquaculture developments are likely to be affected by the planning proposal. Schedule 4 does not apply as MWRLEP 2012 is a standard instrument. The use of the land for rural lifestyle lots is appropriate considering vicinity of other residential land use and rural large lot areas close to Gulgong.

State Environmental Planning Policy No 55 - Remediation of Land

SEPP 55 sets out requirements and procedures for the remediation of contaminated land during the development process. The SEPP would need to be considered by MWRC whilst assessing a development application for the site, which would likely be a development application for subdivision/future dwelling applications.

At present there does not appear to be any potentially contaminating activities occurring on site or any evidence of past activities. Whilst further consideration of the SEPP is not warranted until the lodgement of a development application, there does not appear to be any initial concerns that would arise from the site and further rural lifestyle development.

POST GATEWAY COMMENT - Barnson Pty Ltd prepared Preliminary Site Contamination Assessment 705 Springfield Lane Gulgong NSW (Reference:36748 ER01), report dated 7/07/2021 and made two recommendations:

"Based on the findings of the desktop review and site investigation it can be stated with a reasonable level of confidence that the Subject Site is suitable for the proposed re development and land use. It is recommended that the waste disposed of at Lot 138 DP755434 as well as the empty tank and drums located at Lot 17 of DP1172228 be removed and appropriately disposed of prior to re-development of these areas."

(Barnson (2021) Report in full is provided as an Appendix to this report).

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

As the planning proposal is aiming to amend the zoning of the land from RU1 Primary Production to R5 Large Lot Residential, any future development and associated tree removal may require consideration under the Vegetation SEPP.

The concept plan that has been prepared for the site. This demonstrates that existing lot boundaries are primarily able to be utilised. Further subdivision and development on the site can be undertaken with limited vegetation clearing and no clearing of the mapped Biodiversity Sensitive area would be required. Hence it is not likely to trigger any further consideration at subdivision stage under the SEPP or the *Biodiversity Conservation Act 2016*.



Q6: Is the proposal consistent with applicable Ministerial Directions (9.1 Directions)?

Answer: YES

The following Ministerial Directions are considered of relevance to the proposal.

1.2 Rural Zones

The Ministerial Direction essentially directs Council not to undertake a planning proposal to rezone land from a rural zone to a residential zone unless they are justified by a relevant study or strategy applicable to the site and circumstances.

As discussed elsewhere the site has already been included in the CLUS as suitable for future rural lifestyle development and is therefore considered to satisfy section (5) of this direction.

1.5 Rural Lands

The Ministerial Direction aims to protect the agricultural production value of rural lands, ensure land use conflicts are minimised to facilitate ongoing agricultural uses and ensure several other broad planning principles are addressed during the planning proposal process.

The closest productive agricultural land to the site lies further south of Gulgong and the subject land, which is currently being utilised for the purpose of pasture and intensive agriculture. No significant impact should occur with large lot residential land uses already occurring in vicinity and existing road reserves forming a hard barrier to separate the land uses. No new buffers would be required to be implemented that will hinder any rural land use.

2.3 Heritage Conservation

The Ministerial Direction aims to protect places or Aboriginal and European heritage during the planning proposal process. No items of environmental heritage have been identified and a AHIMS has been undertaken (**Appendix B**) as a preliminary measure.

Appropriate mechanisms will be available through any future subdivision/development approval processes to protect any items that are discovered during construction.

2.6 Remediation of Contaminated Land

The objective of this direction is to reduce the risk of harm to human health and the environment by ensuring that contamination and remediation are considered by planning proposal authorities.

Considered to be consistent. Barnson Pty Ltd prepared Preliminary Site Contamination Assessment 705 Springfield Lane Gulgong NSW (Reference:36748 ER01), report dated 7/07/2021 and made two recommendations: *“Based on the findings of the desktop review and site investigation it can be stated with a reasonable level of confidence that the Subject Site is suitable for the proposed re development and land use.*



Planning Proposal – Castlereagh Highway

It is recommended that the waste disposed of at Lot 138 DP755434 as well as the empty tank and drums located at Lot 17 of DP1172228 be removed and appropriately disposed of prior to re-development of these areas.”

(Barnson (2021) Report in full is provided as an Appendix to this report).

4.4 Planning for Bushfire Protection

The Ministerial Direction aims to ensure the relevant bushfire protection measures identified in the document *Planning for Bushfire Protection 2006* are applied to the proposal. The site is not identified on bushfire prone land mapping as being bushfire prone. There is no impediment to complying with the more recent provisions of *Planning for Bushfire Protection 2019*, which are expected to be adequately addressed through the development application stage for subdivision in the future.

5.10 Implementation of Regional Plans

The Ministerial Direction aims to ensure any planning proposal is consistent with the relevant regional plan. This issue has been addressed in this report and the planning proposal is considered consistent with the *Central West and Orana Regional Plan 2036*.

6.1 Approval and Referral Requirements

The Ministerial Direction aims to ensure that LEP provisions encourage the appropriate and efficient assessment of development. The planning proposal does not include LEP provisions that require further consultation or concurrence with other Departments.

No other Ministerial Directions are considered of relevance to the proposal.

Q7: Is there any likelihood that Critical Habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

Answer: UNLIKELY.

The property has one minor stand of vegetation identified on Council's LEP mapping of being of high biodiversity significance (refer to figure below).



Planning Proposal – Castlereagh Highway

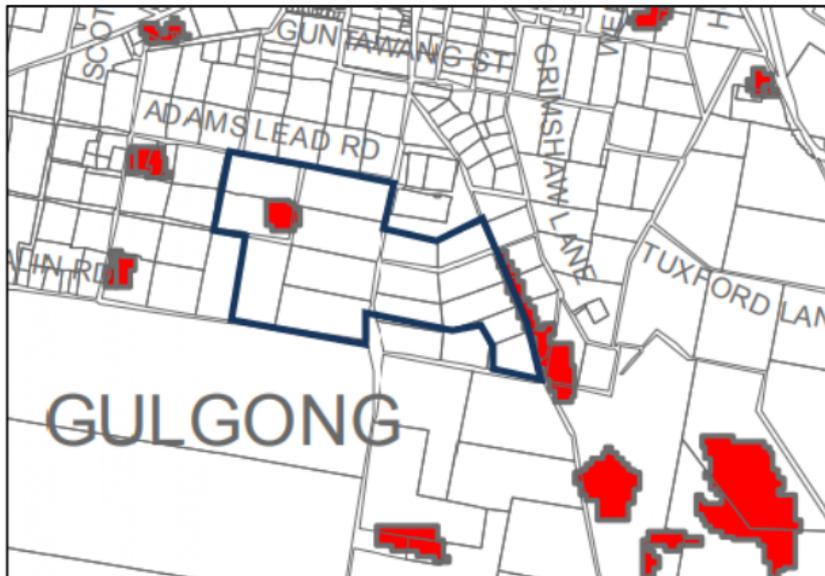


Figure 5: Biodiversity mapping

(Excerpt Sensitivity Biodiversity Map - Sheet BIO_005 MWRLEP 2012)

The concept plan has been carefully prepared to show that the vegetation on site can readily be retained taking into consideration future boundary and dwelling sites.

The majority of the site has been historically cleared with only a scattering of individual trees present across the site. It is expected that these trees can generally remain on site without being impacted by future lot boundaries and dwelling sites. Additional plantings are likely to result with increase land management. Further specific assessment can be undertaken at subdivision stage in accordance with the various relevant legislation.

Q8: Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

An initial assessment of the site and expected future development as a result of the intended outcomes has not revealed any significant environmental constraints or predicted effects. Vegetation on site is expected to be retained and other constraints including environmental heritage, groundwater vulnerability and noise/air quality issues are expected to have negligible impact.

There are no issues expected, such as effluent disposal and the like, that cannot be addressed and mitigated at the subdivision stage for the proposal. Lot size of 12ha will provide ample area for a dwelling with an OSSM and small farm rural activities.

Q9: How has the planning proposal adequately addressed any social and economic effects?

The proposal will contribute to additional housing choice in close vicinity to Gulgong and assist in promoting the historic rural setting of Gulgong. Future residents seeking the rural lifestyle of housing



Planning Proposal – Castlereagh Highway

will enjoy the benefits of close vicinity of a town and facilities. The proposal will contribute positively to social and economic outcomes in Gulgong and address the demand for lifestyle housing opportunities in the Mid-Western Regional LGA.

Q10: Is there adequate public infrastructure for the planning proposal?

Answer: YES

The site currently has electricity and telecommunications infrastructure that will be assessed for further extension at subdivision/DA for dwelling stage. The necessary consultation with those authorities will be undertaken, however this is not considered to be a hindrance to further development of the site.

Water

The proposal for 12ha lots will not result in the need to connect to a reticulated water supply with rainwater harvesting considered the most effective means of supplying water to each future dwelling.

Roads

Minor increases in traffic will be expected from the proposal. The existing road infrastructure and access driveways can be upgraded in accordance with the requirements of the *Mid-Western Regional Development Control Plan 2013* and further considered at subdivision stage. An initial review of the MWRDCP 2013 has not revealed any significant limitations or requirements for a subdivision in the proposed R5 Large Lot Residential zone.

Sewer

The MWRDCP 2013 does not require this level of servicing for lots in the R5 Large Lot Residential zone on min. 12ha lots. The lots are expected to be of a sufficient size to cater for any on-site effluent disposal systems that would be required for each new dwelling.

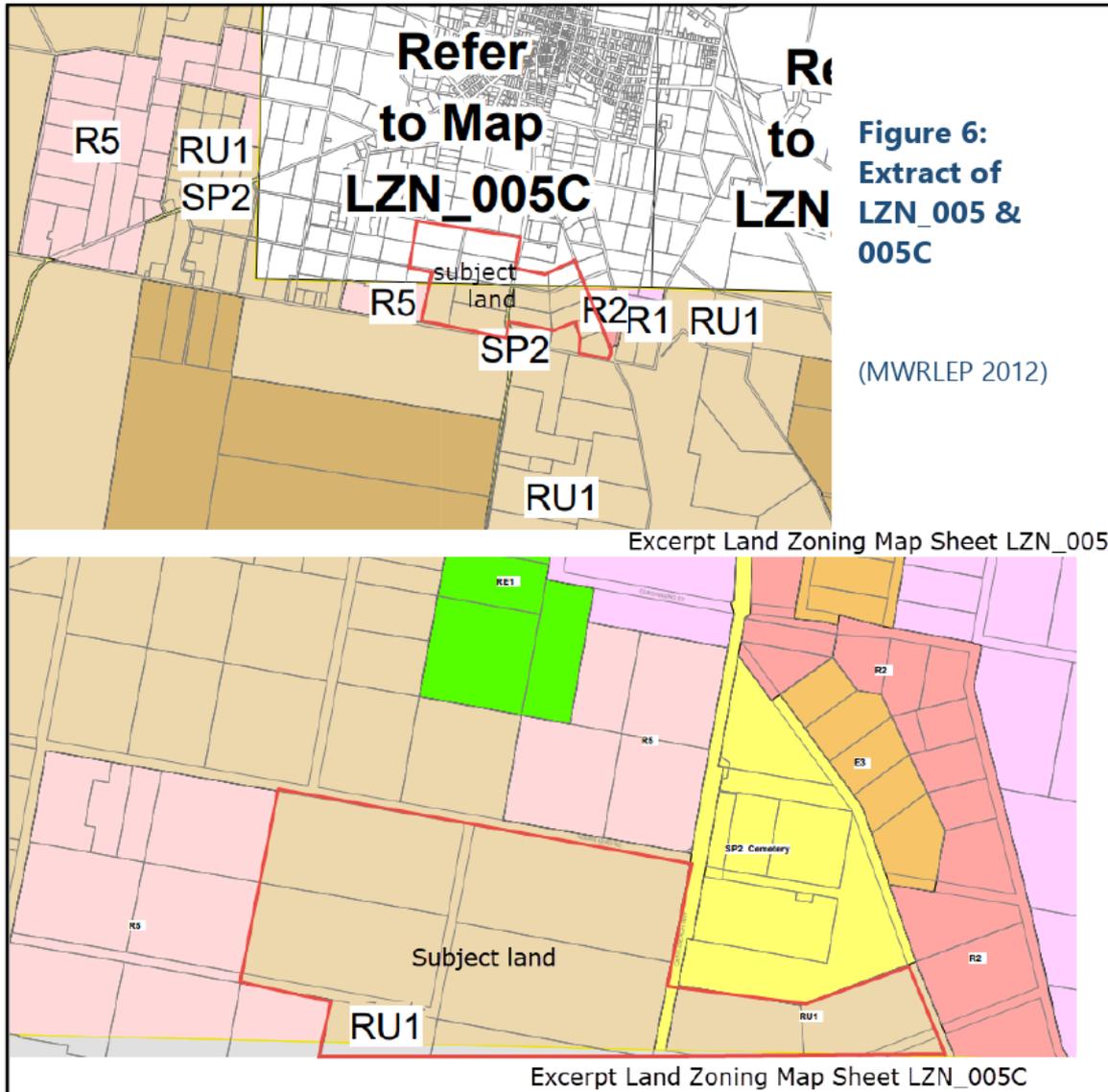
Q11: What are the views of State and Commonwealth Public Authorities consulted in accordance with the gateway determination, and have they resulted in any variations to the planning proposal?

It is expected that MWRC will consult with the relevant Public Authorities and consideration of their views will be included.



4 MAPPING

MWRC has a Standard Instrument LEP in force and new mapping should be carried out consistent with the requirements of the standard technical requirements for LEP maps. The land subject of the planning proposal is included within Land Zoning Map LZN_005 and LZN 005C as shown below. The mapping will be required to be amended to reflect the new R5 Large Lot Residential zoning for the site.



The corresponding lot size map will also require amending to reflect the new minimum lot size of 12ha. The site is located within Lot Size Map LSZ_005C and LSZ_005 as shown below.



Planning Proposal – Castlereagh Highway

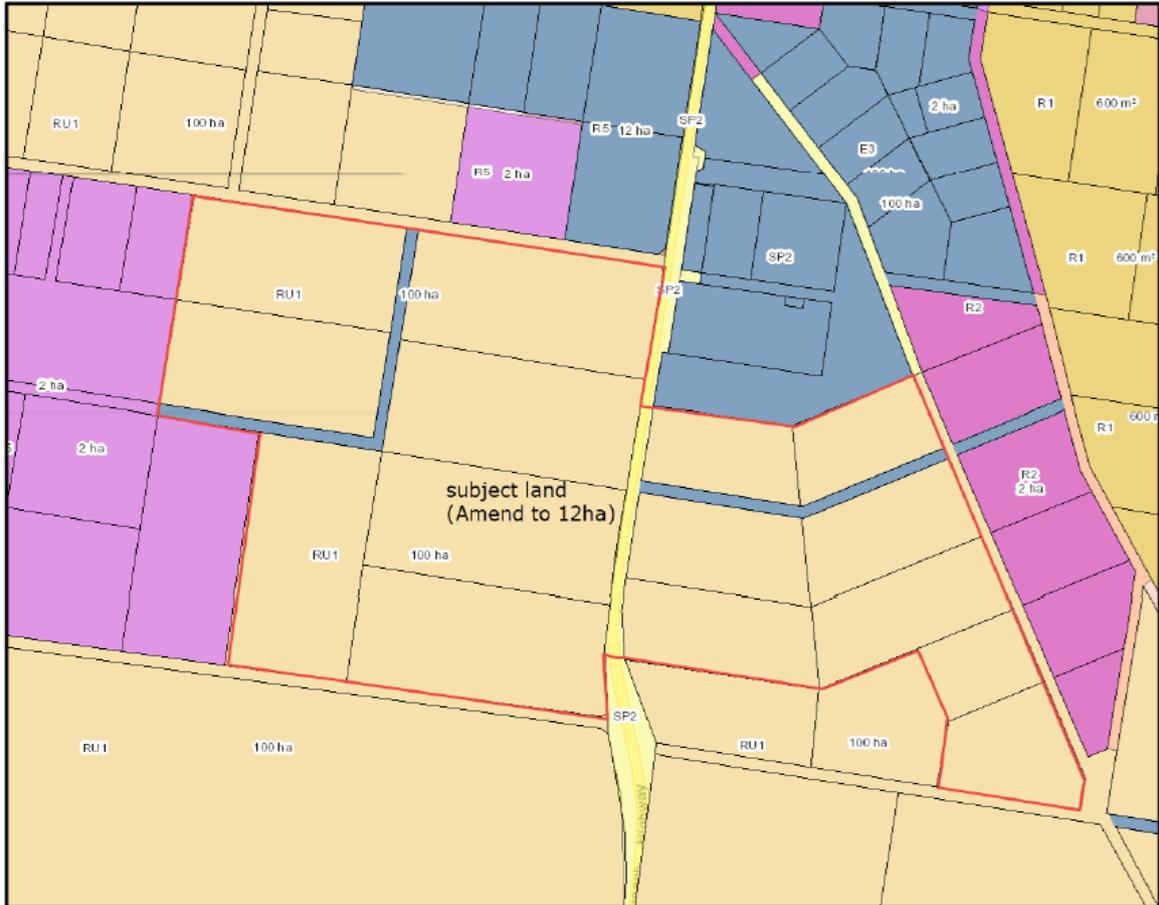


Figure 7: Extract of LSZ_005 & 005C

(MWRLEP 2012 – NSW Planning Portal Mapping)

Planning Proposal – Castlereagh Highway



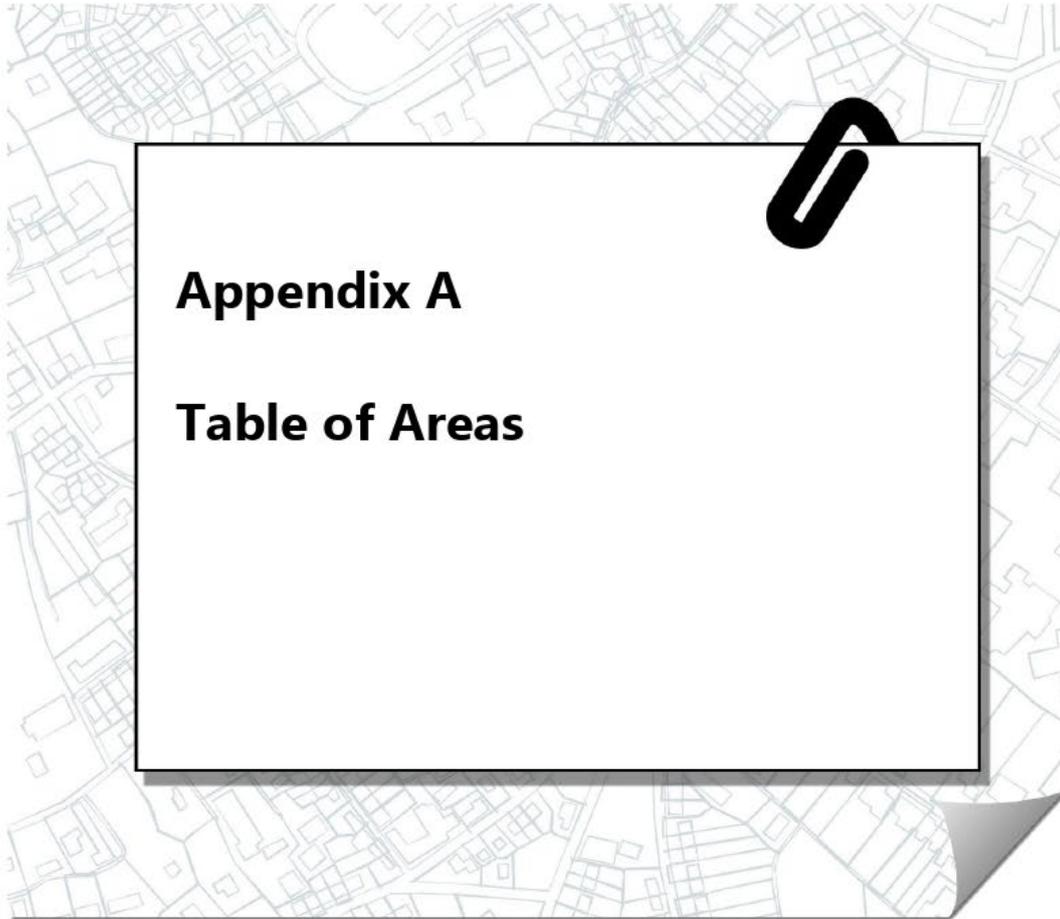
5 COMMUNITY CONSULTATION

Community consultation for the planning proposal is expected be undertaken in accordance with the requirements set out in *A guide to Preparing Planning Proposals* (DoPE 2018).

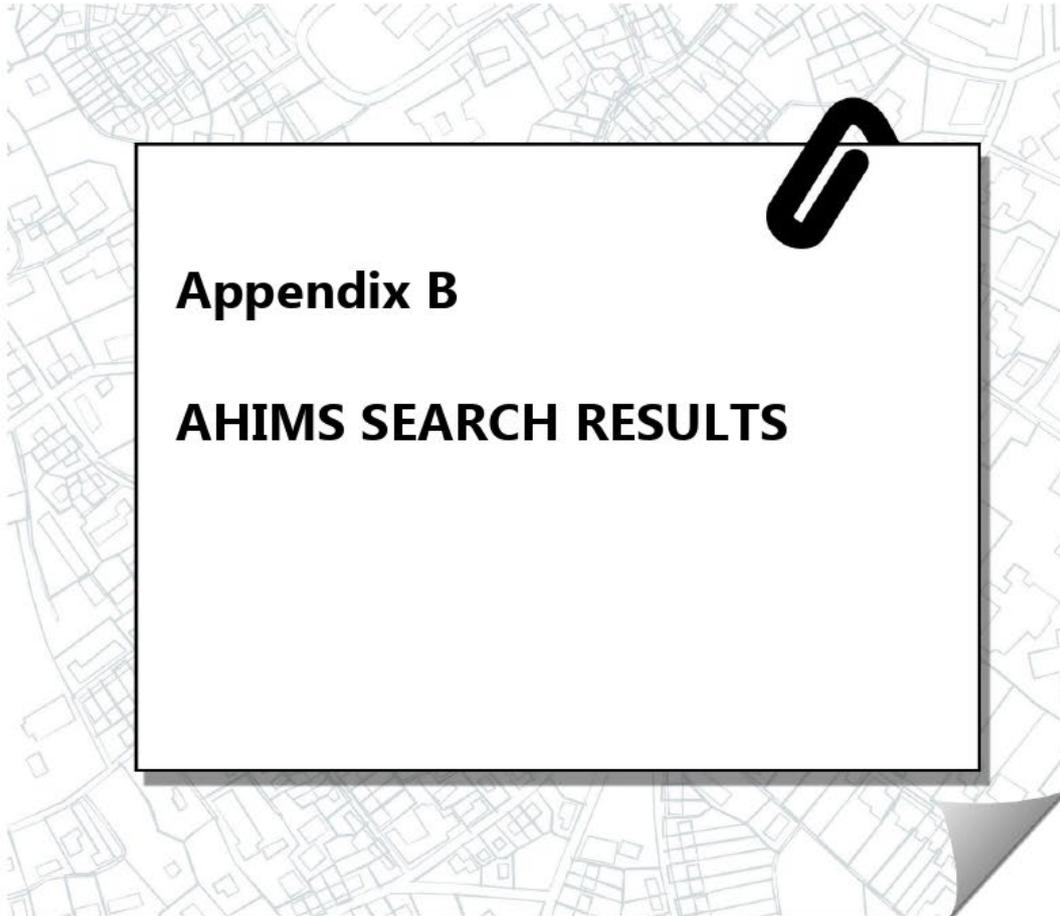
It is expected MWRC will undertake the necessary consultations with the NSW Government as directed throughout the planning proposal process.

6 PROJECT TIMELINE

This will be prepared with MWRC, however there appears to be limited requirements moving forward to enact on the planning proposal outcomes.



Lot	Deposited Plan	acres	roods	perches	m2	hectares
277	755433	7	2	14	30705.55	3.070555
278	755433	8	1	34	34246.55	3.424655
279	755433	8	3	25	36042.35	3.604235
280	755433	10	0	0	40468.6	4.04686
281	755433	5	0	16	20638.99	2.063899
285	755433	10	3	20	44009.6	4.40096
286	755433	9	3	5	39583.35	3.958335
15	1172228				0	8.645
16	1172228				0	8.023
17	1172228				0	8.091
64	755434	20	2	23	83542.37	8.354237
70	755434	16	1	10	66014.4	6.60144
71	755434	16	1	10	66014.4	6.60144
138	755434	20	0	0	80937.2	8.09372
282	755433	8	1	1	33411.89	3.341189
TOTAL						82.32053 hectares





AHIMS Web Services (AWS) Search Result

Purchase Order/Reference : A183

Client Service ID : 543293

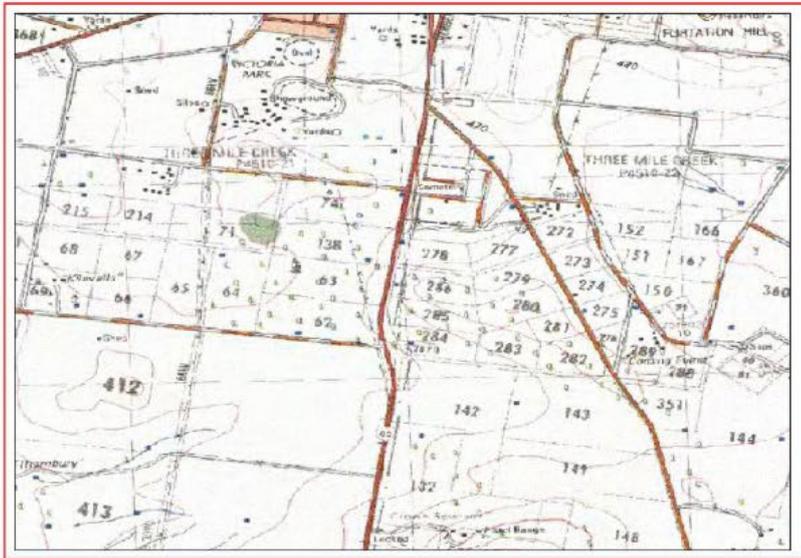
Atlas Environment & Planning
46 Market Street
Mudgee New South Wales 2850
Attention: Emma Yule
Email: yule.atlas@gmail.com

Date: 17 October 2020

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lat, Long From : -32.3886, 149.5166 - Lat, Long To : -32.3705, 149.5452 with a Buffer of 50 meters, conducted by Emma Yule on 17 October 2020.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of the Office of the Environment and Heritage AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

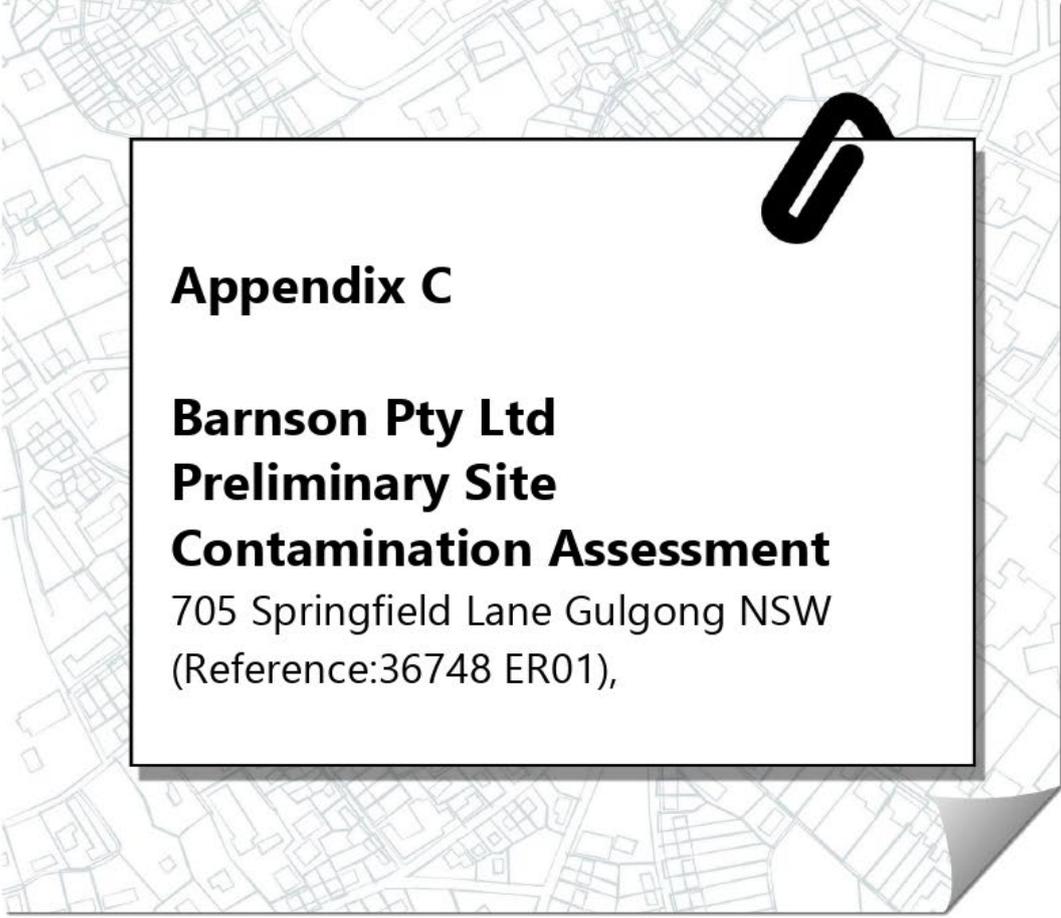
0 Aboriginal sites are recorded in or near the above location.
0 Aboriginal places have been declared in or near the above location.*

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette](http://www.nsw.gov.au/gazette) (<http://www.nsw.gov.au/gazette>) website. Gazettal notices published prior to 2001 can be obtained from Office of Environment and Heritage's Aboriginal Heritage Information Unit upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Office of Environment and Heritage and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.



Appendix C

Barnson Pty Ltd
Preliminary Site
Contamination Assessment
705 Springfield Lane Gulgong NSW
(Reference:36748 ER01),



**Planning,
Industry &
Environment**

IRF21/3221

Mr Brad Cam
General Manager
Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850

Attention: Cameron Amos, Strategic Planning

Dear Mr Cam,

Planning Proposal PP-2020-3019 - proceed to community consultation

I refer to your correspondence in relation to revised planning proposal PP-2020-3019 for amendment to Mid-Western Regional LEP 2011 to rezone land from zone RU1 Primary Production to zone R5 Large Lot Residential and amend the minimum lot size to 12ha for land at 705 Springfield Lane, Gulgong. As per the Gateway determination issued on 18 May 2021, a preliminary contamination investigation demonstrating suitability of the proposed use was to be submitted to Department of Planning, Industry and Environment prior to undertaking community consultation.

I have reviewed the submitted revised planning proposal and can agree that condition 1 of the Gateway determination has been satisfied. I have also agreed, as delegate of the Secretary, the planning proposal's inconsistency with section Direction 2.6 Remediation of Contaminated Land been satisfied in accordance with the terms of the Direction and no further approval is required.

Council may now proceed to community consultation as required in condition 2 of the Gateway determination. The revised planning proposal document, Gateway determination dated 18 May 2021, documents accompanying the planning proposal (including the preliminary contamination investigation report) and a copy of this letter are to be included in the community consultation package.

If you have any questions in relation to this matter, I have arranged for Ms Oyshee Iqbal to assist you. Ms Iqbal can be contacted on 5852 6824.

Yours sincerely

A handwritten signature in black ink that reads 'Wayne Garnsey'.

11 August 2021

**Wayne Garnsey
Manager, Western Region
Local and Regional Planning
Department of Planning, Industry and Environment**



Transport
for NSW

15/09/2021

WST21/000216

The General Manager
Mid-Western Regional Council
86 Market Street
MUDGEES NSW 2850

Attention: Sarah Armstrong

Dear Ms Armstrong

**PP-2021-3019: 705 Springfield Lane, Gulgong
Planning Proposal for Rezoning & Change to Minimum Lot Size**

Thank you for the Planning Proposal (PP) referred via the NSW Planning Portal on the 25 August 2021 inviting comment from Transport for NSW (TfNSW) in accordance with section 3.34(2)(d) of the *Environmental Planning and Assessment Act 1979*.

It is understood that the PP applies to Lots 64, 70, 71, 138 DP 755434, Lots 15, 16 & 17 DP 1172228, and Lots 277, 278, 279, 280, 281, 282, 285 & 286 DP 755433. It is intended that this land is rezoned from RU1 Primary Production to R5 Large Lot Residential and the minimum lot size for subdivision changed from 100 hectares to 12 hectares.

The key concern for TfNSW is the impact upon the safety and efficiency of the classified road network. The primary function of the classified road network is to serve through traffic with local roads serving access needs to local development and properties. The site straddles the Castlereagh Highway (HW18), which is a State Classified Road. TfNSW is unlikely to support direct access for individual properties to the highway.

It is noted that Council, through its Strategic Planning studies, has identified future residential and rural residential growth to the south of Gulgong. Further consideration should be given from a strategic perspective to the road hierarchy in this area to ensure adequate and appropriately located and designed road connections are provided to the classified road network. This strategic consideration will also provide Council with the opportunity to apportion costs for road infrastructure upgrade requirements through contributions plans as opposed to an ad hoc Development Application (DA) by DA basis.

In relation to this PP application, TfNSW provides the following advice:

- Access must be considered from alternative roads to the Castlereagh Highway, as future access to individual lots will likely be restricted to the Castlereagh Highway. In this regard, clause 101 of The *State Environmental Planning Policy (Infrastructure) 2007* must be considered as a part of the future development application for the subdivision that will result from the amendment to the Mid-Western LEP 2012.
- As a part of the future subdivision application, a Traffic Impact Assessment (TIA) would be required that identifies the impact of the development, suitability of existing conditions and any upgrade requirements to the roads and affected intersections. This assessment needs to consider existing approved or expected to be approved developments. The traffic assessment would be required to be prepared in accordance with *Austrroads Guide to Road*

Transport for NSW

Level 1, 51-55 Currajong Street, Parkes NSW, 2870 | PO Box 334, Parkes NSW 2870 | DX20256

T 02 6861 1449 | W transport.nsw.gov.au | E development.western@transport.nsw.gov.au | ABN 18 804 239 602

Design Part 12, RTA Guide to Traffic Generating Development 2002 and relevant TfNSW supplements and technical directions should be considered within the preparation of the traffic assessment

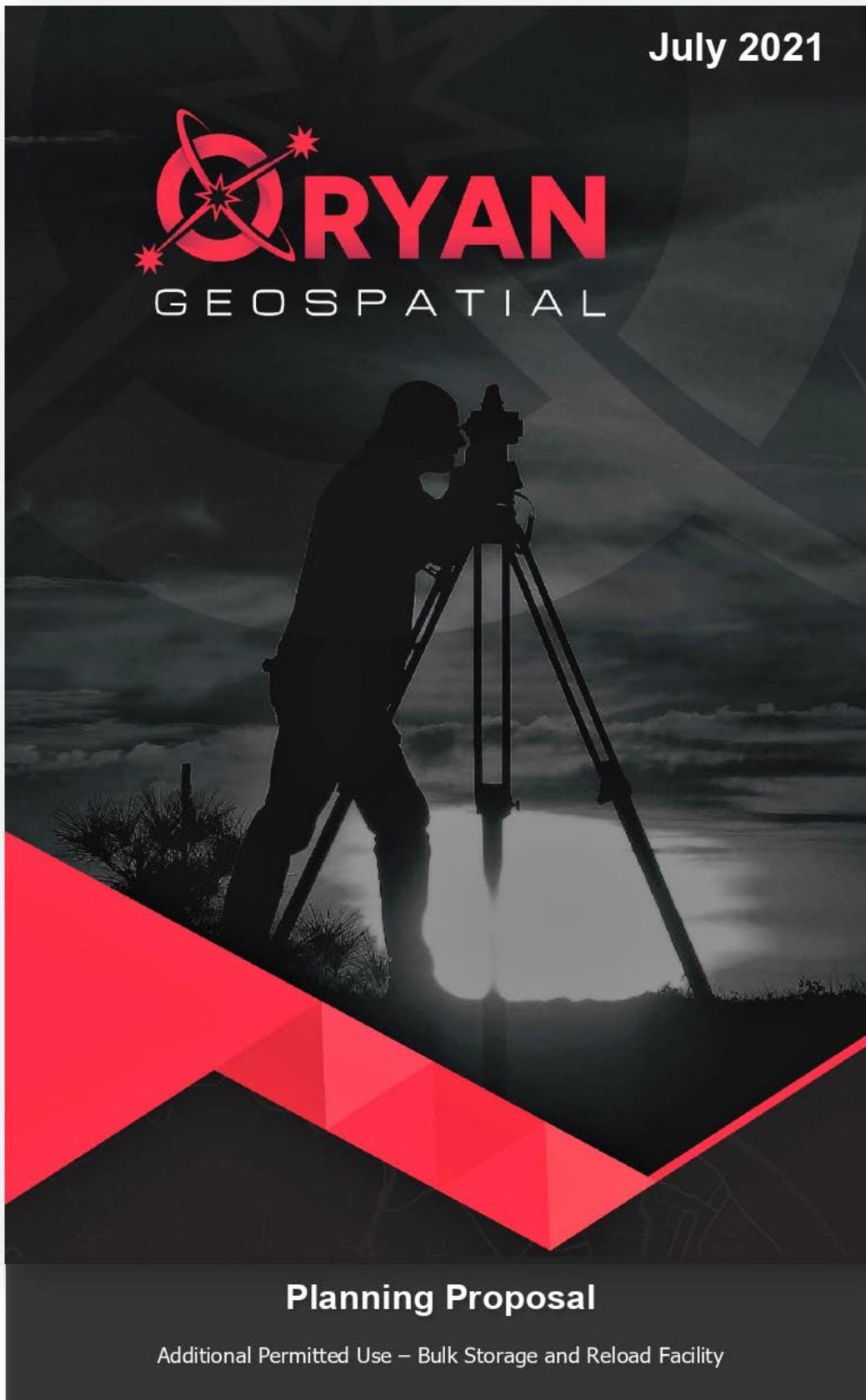
- The assessment of the intersection treatments are to be carried out in accordance with the warrants provided in Section 3.3.6 of Austroads *Guide to Traffic Management Part 6: Intersections, Interchanges and Crossings Management*.
- Safe Intersection Sight Distance (SISD) requirements outlined in the *Austroads Guide to Road Design Part 4A* and relevant TfNSW supplements is to be provided and maintained in both directions at the intersections with the Castlereagh Highway. For an 80 km/h speed zone the minimum SISD is 181 metres and for 100km/h speed zone the SISD is 248m.

If you wish to discuss this matter further, please contact Alexandra Power on 02 6861 1530.

Yours faithfully



Alexandra Power
Team Leader of Development Services- Renewables
Development Services West
Regional and Outer Metropolitan



July 2021

RYAN
GEOSPATIAL

Planning Proposal

Additional Permitted Use – Bulk Storage and Reload Facility

O’Ryan Geospatial (O’Ryan), is responsible for the preparation, contents and information provided within this report and declare that there is no current benefit nor expect to have a beneficial interest in the study area of this project and will not benefit from any of the recommendations outlined in this report.

The preparation of this report has been in accordance with the project brief provided by the client and has relied upon the information, data and results provided or collected from the sources and under the conditions outlined in the report.

O’Ryan accepts no liability for the accuracy or completeness of the data and information provided to it by, or obtained by it, from any third parties, even if that data has been incorporated into or relied upon for generating this report.

This report has been produced by O’Ryan using information that is available to the client as at the date stated within this report and cannot be relied upon in any way if situations at the subject site changes. O’Ryan is under no obligation to update the information contained within the report at any time.

This report has been prepared on behalf of and for the exclusive use of the O’Ryan client and is subject to and issued in connection with the provisions of the agreement between O’Ryan and its client. All information contained within this report are prepared for the exclusive use of the client to accompany this report for the land described herein and are not to be used for any other purpose or by any other person or entity. No reliance should be placed on the information contained in this report for any purposes apart from those stated therein. O’Ryan accepts no responsibility for any loss, damage suffered or inconveniences arising from, any person or entity using the plans or information in this study for purposes other than those stated above.

VERSION AND AMENDMENT CONTROL HISTORY

VERSION	DATE	DESCRIPTION	QA/QC
1.0	22/06/2021	For Client Review	MF
1.1	30/06/2021	Amendment	MF
1.2	8/07/2021	Amendment	MF
1.3	15/07/21	Amendment	MF
1.4	19/07/21	Final	MF

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



TABLE OF CONTENTS

Introduction	4
Proposed Development	4
Site Overview	4
Part 1 - Intended Outcomes	6
Part 2 - Explanation of Provisions	8
Part 3 - Justification	8
Section A – Need for a Planning Proposal	9
Section B – Relationship to Strategic Planning Framework	10
Section C – Environmental, Social and Economic Impact	17
Part 4 - Mapping	21
Part 5 - Community Consultation	21
Part 6 - Project Timeline	21

FIGURES

Figure 1 Proposed Site – Lot 2 in DP 1227923	5
Figure 2 Historic Imagery 1990	14
Figure 3 Historic Imagery 1964	15
Figure 4 Bushfire Prone Land	16
Figure 5 Excerpt of the MWR LEP Map	18
Figure 6 Excerpt of the BV Map	18
Figure 7 Excerpt of MWR LEP Groundwater Vulnerability Map	19
Figure 8 Electricity Infrastructure Available	21

TABLES

Table 1 Indicative Quantities of Dangerous Goods (DGs) Proposed	6
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Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo**INTRODUCTION****PROPOSED DEVELOPMENT**

The purpose of this planning proposal is to enable a development application to be lodged for a bulk storage and reload facility located at lot 2 in DP1227923. The facility would handle a quantity of Ammonia Nitrate Emulsion (ANE), Ammonium Nitrate (AN), oxidising agents, gassing solutions and a small quantity of blasting agents. The quantity of blasting agents held onsite would replace a comparable quantity currently stored in magazines 1km southeast, used by Mudgee Dolomite & Lime Pty Ltd for blasting in a limestone quarry. The proposed facility would provide integrated drill and blast services to support the quarrying, mining and civil construction industries prominent within the region.

The facility would primarily be used to handle low-risk explosive pre-cursors including oxidising agents and gassing solutions. The facility would allow the handling, storage and transport of materials classified as Dangerous Goods (DG), including class 5.1 oxidisers, class 8.0 corrosive substances and class 1.0 blasting agents. Strict standards will be applied to the facility, notably the following:

- AS 2187.1-1998 Explosives - Storage, Transport and Use
- AS4326-2008 The Storage and Handling of Oxidising Agents
- Australian Explosives Industry and Safety Group (AEISG) Code of Practice Storage and Handling of UN3375
- Licensing under the *NSW Explosives Act 2003 No 39* and *Explosives Regulation 2013*

SITE OVERVIEW

The proposed development requires a building envelope of approximately 5000m² (0.5 Ha) and sufficient offsets to neighbouring development to comply with the requirements of AS2187.1-1998. The proposed site location, lot 2 in DP 1227923, includes approximately 20.4 Ha of suitable cleared land. The site, identified in Figure 1, is associated with 540 Buckaroo Road, Buckaroo, NSW, 2850 and is located 7km northeast of the township of Mudgee.

Lot 2 in DP1227923 measures approximately 69.14 Ha and is currently zoned RU1 Primary Production. The site adjoins Buckaroo Road directly to the north and the east via a Crown Road. Remnant vegetation is present on the south and northeast of the site, typically associated with steeper terrain. The remnant vegetation is associated with high biodiversity and is mapped as being bushfire prone land. Approximately 20.4 Ha of the site is cleared of vegetation and gently slopes to the north. The proposed building envelope is to be wholly contained within the historically cleared area.

The neighbouring land users include Mudgee Dolomite and Lime Pty Ltd, who operate a limestone quarry 1km southeast of the site and office administration buildings 750m to the northwest. A gravel pit is located approximately 350m to the west of the proposed building envelope. The vegetation on the south of the site extends into steep terrain associated with extensive vegetation zoned E3 Environmental Management. Land to the north is zoned R5 Large Lot Residential while the land directly west, northwest, and east of the site is zoned RU1 Primary Production. Figure 1 provides an overview of the proposed site and surrounding land uses.

Planning Proposal – Additional Permitted Use
 540 Buckaroo Road, Buckaroo

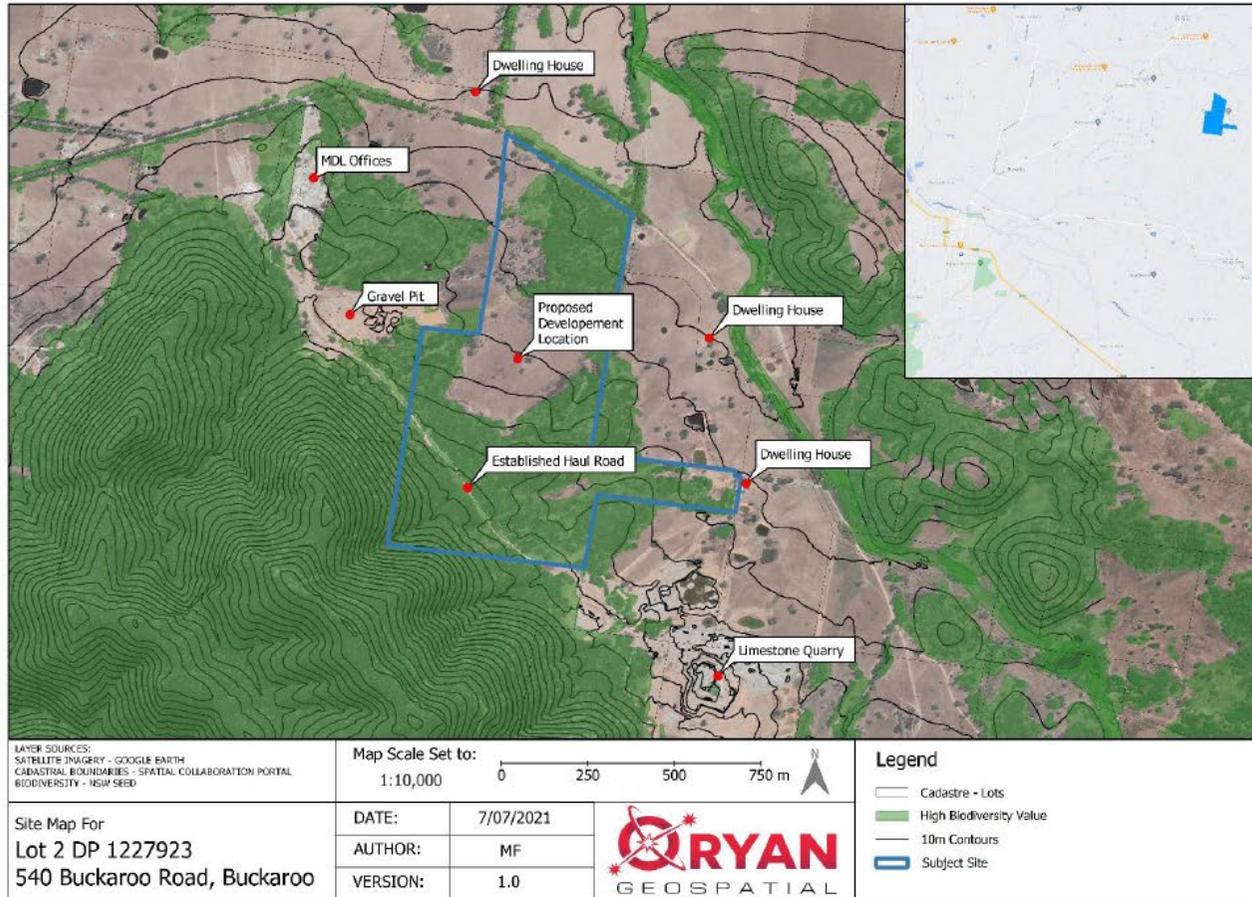


Figure 1 Proposed Site – Lot 2 in DP 1227923

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



PART 1 - INTENDED OUTCOMES

The purpose of this planning proposal is to amend the *Mid-Western Regional Local Environmental Plan 2012* (MWR LEP) under the *NSW Environmental Planning and Assessment Act 1979* (EP&A Act) to include an additional permitted use for Lot 2 in DP1227923 as a bulk storage and reload facility. The planning proposal would amend Schedule 1 of the MWR LEP to allow a development application (DA) to be lodged for the facility.

The proposed bulk storage and reload facility would handle and store several categories of Dangerous Goods (DGs), including class 5.1 oxidisers, class 8.0 corrosive substances and class 1.0 blasting agents. The nature of these goods, materials and products requires measures to reduce or minimise the potential impact to health, property, or the environment. AS 2187.1-1998 Explosives - Storage, Transport and Use specify the offset requirements from protected works (Class B) such as dwelling houses, public buildings, and industries. Table 1 indicates the offset requirements under the standard for the proposed development. Note that quantities and materials are indicative only.

Table 1 Indicative Quantities of Dangerous Goods (DGs) Proposed

CLASSIFICATION	NAME	VOLUME	Protected works B – mounded, meters	Process building mounded, meters
5.1	Ammonium Nitrate UN1942 or UN2067	70 tonne (NEQ 22.4t @ .32))	325m (25t 50% of 650m)	235m (25t)
5.1	Ammonium Nitrate Emulsion UN3375	75 tonne (NEQ 56t @.75)	410m (50t 50% of 820m)	295m (50t)
5.1	Sodium Nitrite solution (gassing agent)	3,000lt (1000lt IBC)	N/A	N/A
8.0	Acetic Acid solution 45%	3,000lt (1000lt IBC)	N/A	N/A
1.0	Explosives	7,500kg	435m (35m to AN, 95m to ANE)	155m
1.0	Detonators 1.4S & 1.1B	5,000 units (NEQ 5kg)	10m to other explosives	N/A
N/A	Diesel – (To be confirmed with operations)	2500lt	N/A	N/A

Under the MWR LEP Dictionary, the proposed development would be classified as a heavy industrial storage establishment and/or a heavy industry. The MWR LEP definitions are provided below:

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



hazardous industry means a building or place used to carry out an industrial activity that would, when carried out and when all measures proposed to reduce or minimise its impact on the locality have been employed (including, for example, measures to isolate the activity from existing or likely future development on other land in the locality), pose a significant risk in the locality—

- (a) to human health, life or property, or
- (b) to the biophysical environment.

Note—

Hazardous industries are a type of **heavy industry**—see the definition of that term in this Dictionary.

heavy industry means a building or place used to carry out an industrial activity that requires separation from other development because of the nature of the processes involved, or the materials used, stored or produced, and includes—

- (a) hazardous industry, or
- (b) offensive industry.

heavy industrial storage establishment means a building or place used for the storage of goods, materials, plant or machinery for commercial purposes and that requires separation from other development because of the nature of the processes involved, or the goods, materials, plant or machinery stored, and includes any of the following—

- (a) a hazardous storage establishment,
- (b) a liquid fuel depot,
- (c) an offensive storage establishment.

industry means any of the following—

- (a) general industry,
 - (b) heavy industry,
 - (c) light industry,
- but does not include—
- (d) rural industry, or
 - (e) extractive industry, or
 - (f) mining.

The offsets required by the proposed development are incompatible with the industrial areas currently zoned or proposed in the Mid-Western Regional Comprehensive Land Use Strategy (CLUS). An evaluation of current/proposed industrial zoned land within Mudgee, Gulgong, Kandos/Rylstone, and Ulan indicate that insufficient land is available for the proposed development. The sites reviewed would have insufficient area for suitable offsets to class A protected assets (e.g., roads) and class B protected assets (e.g., dwellings, public facilities, industries) under AS2187.1-1998.

Investigation of suitable sites has identified lot 2 in DP 1227923 as a potentially suitable location. Lot 2 is located within an RU1 Primary Production zone. The MWR LEP Land Use Table for RU1 Primary Production lists “industries” and “heavy industrial storage establishments” under section 4 prohibited development. This planning proposal seeks to amend the MWR LEP to allow the proposed bulk storage and reload facility to be included under MWR LEP Schedule 1 as an additional permitted use. MWR LEP clause 2.5 describes additional permitted uses:

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo**2.5 Additional permitted uses for particular land**

- (1) *Development on particular land that is described or referred to in Schedule 1 may be carried out—*
- (a) *with development consent, or*
 - (b) *if the Schedule so provides—without development consent, in accordance with the conditions (if any) specified in that Schedule in relation to that development.*
- (2) *This clause has effect despite anything to the contrary in the Land Use Table or other provision of this Plan.*

Amendment of MWR LEP to include the facility as an additional permitted use is preferable to rezoning the subject site to IN3 heavy industrial. The amendment would enable a development application to be lodged for the proposed development without creating an opportunity for other incompatible industrial uses that may be permitted if the land were to be rezoned to an industrial land use.

PART 2 - EXPLANATION OF PROVISIONS

The following formal amendment to the *Mid-Western Regional Local Environmental Plan 2012* (MWR LEP) is proposed to facilitate the intended outcomes of the planning proposal that were discussed in Part 1 of this report:

- Amend Schedule 1 to provide an additional permitted use for a bulk storage and reload facility subject to development consent at lot 2 DP1227923

It is recognised that the intended outcome can be achieved by amending the applicable map sheets to change lot 2 DP1227923 from land zoned RU1 Primary Production to a suitable industrial zone. However, it is recommended that an additional permitted use be applied in this instance to prevent alternative industrial uses of the subject site that are not likewise constrained by the need for isolation from certain neighbouring land uses. Amending Schedule 1 to allow an additional permitted use would enable a development application (DA) to be lodged for the proposed development without permitting the full litany of industrial uses allowed by the MWR LEP Land Use Table.

PART 3 - JUSTIFICATION

This section outlines the reasoning and justification for the proposed amendment to the MWR LEP, which is intended to allow further development of the site as a bulk storage and reload facility, as stated by the intended outcomes discussed in Part 1.

The following questions have been extracted from the requirements set out by the NSW Department of Planning and Environment through their document titled *A Guide to Preparing Planning Proposals 2018*.

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



SECTION A – NEED FOR A PLANNING PROPOSAL

Question 1: Is the planning proposal a result of an endorsed local strategic planning statement, strategic study, or report?

Answer: No

The key strategic document that Mid-Western Regional Council applies for identifying and releasing land for industrial use is the Comprehensive Land Use Strategy (CLUS) originally endorsed by Council in August 2010. The CLUS has three volumes, with Part C – Strategy being of particular relevance for this case. Part C is considered below:

Part C Section 3.2 Employment Lands recognises that mining operations and associated industries are significant employment opportunities for the MWR LGA and identifies that these industries will drive demand. Section 3.2 identifies several industrial development areas for expansion and provision of employment opportunities over the medium-long term. The land zoned for industrial use and identified for future expansion by the CLUS have been reviewed to determine if suitable land is available for the proposed development. A brief evaluation is provided below:

- Sydney Road Industrial Area – this location is prominently used for light industrial and bulky retail purposes. The density of the industrial and commercial development is not appropriate for the proposed development.
- Land Near Mudgee Waste Transfer Area – land to the north of the Mudgee Waste Transfer Station on Hill End has been proposed as an alternative to Sydney Road for heavier industries. While less densely developed than Sydney Road, the industry within this area is more likely to use materials and processes that are incompatible with the proposed development and may increase the overall hazard posed.
- Mudgee Airport – is identified in the CLUS as a potential area for industrial use that is compatible with the airport. The proposed development is not considered to be a compatible development.
- Ulan – industrial land closer to mining activities in Ulan is identified as an alternative for general industry. However, a review of land already zoned for industrial use indicates that no sites are available that are suitably offset from Ulan Road, which is a major road with significant vehicle traffic.
- Gulgong – the CLUS suggests that Gulgong may be a suitable alternative to Sydney Road for larger industrial sites. A review of the land available, development density and surrounding land uses indicate that the proposed development would not be compatible.
- Rylstone and Kandos – this area includes several areas zoned for industrial use located between the villages of Rylstone and Kandos as well as land associated with the defunct Mudgee cement works. The primary access road in this location is Bylong Valley Way which passes through both Kandos and Rylstone. The currently zoned sites are considered undesirable due to the increased heavy vehicle traffic generated by the proposed development, often transporting dangerous goods that would need to travel through residential areas.

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



The preliminary site suitability review suggests that the industrial lands currently zoned and identified in the CLUS are unsuitable for the proposed development. The most suitable sites for potential rezoning identified in the strategy are locations outside Kandos/Rylstone or close to Ulan due to larger lot sizes and lower development density. The disadvantage of this approach is that the CLUS encourages the rezoning of industrial land adjacent to existing development. This could result in rezoning to neighbouring portions that are incompatible with the proposed development. To conclude, the nature of the proposed development requires isolation from other industry and suggest the development is best suited to a site co-located with the extraction industries that it would serve.

Question 2: Is the planning proposal the best means of achieving the objectives or intended outcomes or is there a better way?**Answer: Yes**

A planning proposal seeking to amend MWR LEP is considered the best means of achieving the objectives and intended outcomes set out in Part 1 of this PP and the most effective way of providing certainty for Council, the local community, and the landowner.

SECTION B – RELATIONSHIP TO STRATEGIC PLANNING FRAMEWORK**Question 3: Will the planning proposal give effect to the objectives and actions of the applicable regional, district plan or strategy (including any exhibited draft plans or strategies)?****Answer: Yes**

Mid-Western Regional Council falls within the "Central West and Orana Region" and therefore this planning proposal has considered the objectives and actions of the Central West and Orana Regional Plan 2036. The plan broadly identifies areas for economic expansion throughout the region, including the Mid-Western Regional LGA. The regional plan has been considered from two perspectives:

1. The impact of the proposed development on agricultural interests, particularly as it relates to the fragmentation of agricultural lands; and
2. The economic opportunities presented by the proposed development and the indirect benefits to the mining and construction industries.

Direction 1: Protect the region's diverse and productive agricultural land – recognises the need to identify important agricultural lands and protect these lands from conflicting development and fragmentation. The proposed site location would be positioned between existing non-agricultural land uses and is otherwise constrained to the south due to terrain and biodiversity features. The proposed facility location would be within a historically cleared area approximately 20.3 Ha in size. The facility itself would be approximately 5,000m² (0.5 Ha) and agricultural practices could continue unimpeded outside this area. Overall, the proposed development is therefore anticipated to have a negligible impact on agricultural interests at a regional scale.

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



Direction 3: Develop advanced manufacturing and food processing sectors – identifies the need to incorporate value-added manufacturing and co-location of related industries to maximise efficiency and industrial use, decrease supply chain costs, increase economies of scale, and attract further investment. The proposed development is located 1km northeast of a limestone quarry operated by Mudgee Dolomite & Lime Pty Ltd and would be well-positioned to provide drill and blast services. The quarry can be readily accessed by a haulage road to minimise transportation and use of public roads.

Direction 8: Sustainably manage mineral resources – recognises that the mineral resource sector underpins many local economies and is a key driver for growth. A key action identified is to protect infrastructure that facilitates mining from development that could affect current or future extraction. The proposed development is not located on the mining lease and would not constrain the continued operation of the quarry.

Direction 10: Promote business and industrial activities in employment land – suggests that co-location of related industries be promoted, and that industrial and employment lands be identified to reduce land-use conflicts. Notably, this planning proposal does conflict with the direction by planning development located outside an identified industrial cluster, however, as identified in question 1, this is to avoid incompatible land users in the proximity of the development. The applicant currently provides integrated drill and blast services to the quarry operated by Mudgee Limestone & Dolomite Pty Ltd from Queensland. The applicant is seeking to expand their services within the Central West region and would be creating local employment opportunities. The proposed facility would also have numerous indirect benefits to the mining and construction industries by providing a local, cost-effective service.

Question 4: Is the planning proposal consistent with Council's local strategy or other local strategic plan

Answer: Yes

The Mid-Western Regional Local Strategic Planning Statement (LSPS) was endorsed by Council at the 20 May 2020 meeting. The LSPS sets out the 20-year vision for land use planning in the MWR LGA. The strategy outlines key short, medium, and long-term planning priorities for the community.

Planning priority 7 – support the attraction and retention of a diverse range of businesses and industries identifies the need to maintain and enhance a diverse local economy. The four key economic contributors are identified as mining, real estate, construction, and agriculture. Promotion and targeting of businesses that complement key local industries is identified as a key action. This planning proposal is intended to allow a development application to be lodged for a bulk storage and reload facility that would provide specialised drill and blasting solutions to the region. The services provided would be highly complementary to the mining and construction industries in the region.

Planning priority 8 – provide leadership on economic development initiatives and identify resources and infrastructure required to drive investment and further economic growth in the region states that Council plays a role in identifying and resourcing initiatives that support businesses, attract investment, and assist the region to grow. The proposed development would have direct employment benefits and substantial indirect impacts on the mining and

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



construction industries by providing a cost-effective and competitive local service. This is likely to have ongoing positive effects on employment in mining (17.6% of the workforce) and construction (8.2% of the workforce).

Question 5: Is the planning proposal consistent with the applicable State Environmental Planning Polices?**Answer: Yes**

SEPP	Applicable / Consistency
State Environmental Planning Policy (Aboriginal Land) 2019	Not applicable to the proposal
State Environmental Planning Policy (Activation Precincts) 2020	Not applicable to the proposal
State Environmental Planning Policy (Affordable Rental Housing) 2009	Not applicable to the proposal
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	Not applicable to the proposal
State Environmental Planning Policy (Coastal Management) 2018	Not applicable to the proposal
State Environmental Planning Policy (Concurrences and Consents) 2018	Not applicable to the proposal
State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017	Not applicable to the proposal
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	Not applicable to the proposal
State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004	Not applicable to the proposal
State Environmental Planning Policy (Infrastructure) 2007	Not applicable to the proposal
State Environmental Planning Policy (Koala Habitat Protection) 2020	See below
State Environmental Planning Policy (Major Infrastructure Corridors) 2020	Not applicable to the proposal
State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007	See below
State Environmental Planning Policy (Primary Production and Rural Development) 2019	See below
State Environmental Planning Policy No 21—Caravan Parks	Not applicable to the proposal
State Environmental Planning Policy No 33—Hazardous and Offensive Development	See below
State Environmental Planning Policy No 36—Manufactured Home Estates	Not applicable to the proposal
State Environmental Planning Policy No 50—Canal Estate Development	Not applicable to the proposal
State Environmental Planning Policy No 55—Remediation of Land	See below
State Environmental Planning Policy No 64—Advertising and Signage	Not applicable to the proposal
State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development	Not applicable to the proposal
State Environmental Planning Policy (State and Regional Development) 2011	Not applicable to the proposal
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Not applicable to the proposal

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



The following State Environmental Planning Policies (SEPPs) are considered relevant to the planning proposal:

SEPP (Koala Habitat Protection) 2020

The consideration of SEPP (Koala Habitat Protection) 2020 is not considered applicable at the planning proposal stage. At the development application stage due consideration of any potential impact to Koala Habitat and feed trees should be undertaken. The site includes a substantial cleared area (approximately 20.3 Ha) suitable for the establishment of the proposed facility (approximately 0.5 Ha). The proposed building envelope has been historically cleared and is of a suitable size and dimensions for the establishment of the facility and asset protection zones required by NSW RFS. Minimal impacts to habitat or feed trees are anticipated.

SEPP (Primary Production and Rural Development) 2019

SEPP (Primary Production and Rural Development) 2019 is a planning framework implemented to facilitate the orderly use of land for sustainable agriculture. The subject site has not been identified as state significant agricultural land under Part 2 of the SEPP and no livestock industries, or aquaculture is proposed as part of the site's development. The footprint of the proposed facility is approximately 0.5 Ha, with the remaining 19.5 Ha of cleared land available for ongoing agricultural uses. Existing extraction industries and terrain constraints limit the connectivity of the site and the impacts of the planning proposal on rural land fragmentation or loss are considered negligible at both a local and regional scale.

SEPP (Mining, Petroleum Production and Extractive Industries) 2007

The aims of SEPP (Mining, Petroleum Production and Extractive Industries) 2007 is to facilitate and manage land used for or surrounding extractive industries while considering conflicting or competing land uses. Clause 13 of the SEPP specifies that the consent authority must consider the compatibility of development in proximity to an extractive industry:

(1) This clause applies to an application for consent for development on land that is, immediately before the application is determined—

- (a) in the vicinity of an existing mine, petroleum production facility or extractive industry, or*
- (b) identified on a map (being a map that is approved and signed by the Minister and copies of which are deposited in the head office of the Department and publicly available on the Department's website) as being the location of State or regionally significant resources of minerals, petroleum or extractive materials, or*
- (c) identified by an environmental planning instrument as being the location of significant resources of minerals, petroleum, or extractive materials.*

The proposed development is located in proximity to a limestone quarry located approximately 1km to the southeast. Clause 13 states:

(2) Before determining an application to which this clause applies, the consent authority must—

(a) consider—

- (i) the existing uses and approved uses of land in the vicinity of the development, and*
- (ii) whether or not the development is likely to have a significant impact on current or future extraction or recovery of minerals, petroleum or extractive materials (including by limiting access to, or impeding assessment of, those resources), and*
- (iii) any ways in which the development may be incompatible with any of those existing or approved uses or that current or future extraction or recovery, and*

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



(b) evaluate and compare the respective public benefits of the development and the uses, extraction and recovery referred to in paragraph (a)(i) and (ii), and

(c) evaluate any measures proposed by the applicant to avoid or minimise any incompatibility, as referred to in paragraph (a)(iii).

The applicant has consulted Mudgee Dolomite and Lime Pty Ltd, and the proposed use of the subject site will not result in any land use conflict or otherwise impact the operation of the quarry. Mudgee Dolomite and Lime Pty Ltd have raised no objections to the lodgement of the planning proposal.

State Environmental Planning Policy No 33—Hazardous and Offensive Development

SEPP No.33 amends the definitions of hazardous and offensive industries and provides guidelines to assist with the evaluation of potentially hazardous or offensive industries during the development application stage. The proposed development is for a bulk storage and reload facility that would involve classified dangerous goods (DGs). SEPP No. 33 does not apply at the planning proposal stage however due consideration of the SEPP is required for any development application lodged for the proposed additional use.

State Environmental Planning Policy No 55—Remediation of Land

SEPP 55 sets out the requirements and procedures for the remediation of contaminated land during the development process. The site does not appear on the list of NSW contaminated sites notified to the Environmental Protection Authority (EPA). The proposed building envelope has been historically cleared for grazing purposes and review of current and historic imagery suggest that no significant structures have been established. Figure 2 is an excerpt from the NSW Spatial Services Historic Imagery Viewer from 11/11/1990 and Figure 3 is an excerpt from 2/06/1964.



Figure 2 Historic Imagery 1990

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo

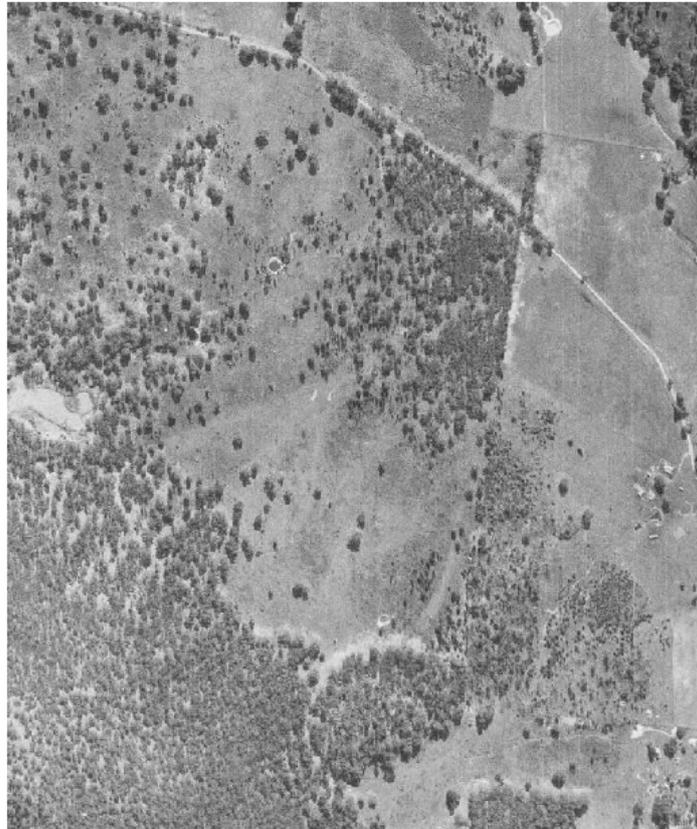


Figure 3 Historic Imagery 1964

Question 6: Is the proposal consistent with the applicable Ministerial Directions (9.1 Directions)?

Answer: Yes

The directions issued by the Minister for Planning under section 9.1(2) of the Environmental Planning and Assessment Act 1979 are considerations and requirements that apply to planning proposals that are lodged to the Department of Planning, Industry and Environment. Consideration of the applicable ministerial directions are discussed below:

Direction 1.2 Rural Zones

Ministerial Direction 1.2 directs the council not to undertake a planning proposal to rezone land from a rural zone to a residential zone, business, industrial, village or tourist zone or increase the permissible density of the land within a rural zone unless justified by a relevant plan or strategy. This planning proposal seeks to permit an additional use of the land and will not change the land zoning or development density.

Direction 1.5 Rural Zones

The objectives of ministerial direction 1.5 is to protect agriculturally productive land, minimise rural land fragmentation, promote sustainable land-use practices, and minimise land use conflict. This planning proposal affects land that is within an existing rural zone and the

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



direction applies. The proposed site is not associated with strategic agricultural land and is located in proximity to extractive industries. The land to the south of the site includes steep terrain with significant native vegetation and is unconducive to agricultural use. The proposed facility would have a total footprint of approximately 0.5 Ha and would allow for agricultural practices to continue on the remaining 19.8 Ha of cleared land.

Overall, the additional permitted use and presumed future development of the site as a bulk storage and reload facility is anticipated to have minimal conflict with the surrounding land users and any loss of agricultural land will be of minor significance when considering the social, economic, and environmental interests of the community.

Direction 2.3 Heritage Conservation

Ministerial direction 2.3 aims to protect places of Aboriginal or European heritage during the planning proposal process. The subject land is not associated with any state or local heritage items, and an AHIMS basic search (see Appendix A) has been undertaken. The AHIMS search does not identify any Aboriginal sites or places in proximity to the site. The *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales* is to be applied by any subsequent development.

Direction 4.4 Planning for Bushfire Protection

Ministerial Direction 4.4 aims to protect life, property, and the environment from bushfire hazards and to encourage sound management of bushfire prone areas. The subject site is identified on the NSW RFS bushfire prone land maps as being bushfire prone. The site includes areas identified as vegetation category 1, vegetation category 2 and vegetation buffer. An excerpt of the bushfire mapping is shown below in Figure 4.

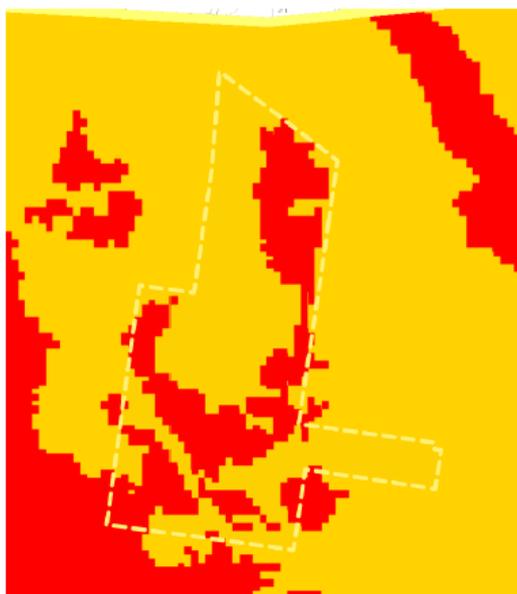


Figure 4 Bushfire Prone Land

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



The proposed site location is conducive to establishment of suitable outer and inner asset protection zones (APZs) wholly within the allotment and without requiring extensive clearing to be undertaken. Establishment and continuation of agriculture activities, particularly livestock, will be encouraged to reduce available fuel within the cleared areas of the site.

Under Direction 4.4, it is recognised that further consultation with NSW RFS will be required to demonstrate that the planning proposal and subsequent development of the site would be able to mitigate risks posed by a bushfire event and achieve compliance with the bushfire protection measures outlined by the document; Planning for Bushfire Protection 2019 (PBP).

Direction 5.10 Implementation of Regional Plans

Ministerial Direction 5.10 aims to ensure that any planning proposal is consistent with the relevant regional plan's strategy, goals, or actions. This issue has been addressed in this report and the planning proposal is considered consistent with the *Central West and Orana Regional Plan 2036*.

Direction 6.1 Approval and Referral Requirements

Ministerial Direction 6.1 aims to ensure that LEP provisions encourage the appropriate and efficient assessment of the development. The planning proposal does not include LEP provisions that require further consultation or concurrence with other Departments at the planning proposal stage. Under Ministerial Direction 4.4, it is recognised that consultation with NSW RFS will be required during the planning proposal process.

Direction 6.3 Site Specific Provisions

This Ministerial Direction aims to discourage unnecessarily restrictive site-specific planning controls. The adoption of the proposed additional permitted use would enable the proposed development to be assessed under the existing planning framework without adopting site-specific controls.

SECTION C – ENVIRONMENTAL, SOCIAL AND ECONOMIC IMPACT

Question 7: Is there any likelihood that Critical Habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

Answer: Unlikely

The subject site does include several areas of remnant native vegetation on the southern and part of the northern extents of the site allotment. The facility's proposed location is within an existing clearing that is not associated with any significant vegetation.

A preliminary desktop assessment of the subject site indicates that the vegetation located on the southern and northern extents of the allotment are mapped as being of high terrestrial biodiversity on Council's LEP mapping (see Figure 5) as well as being of high biodiversity value on the Biodiversity Values (BV) map that is published by the Office of Environment and Heritage (see Figure 6).

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



Figure 5 Excerpt of the MWR LEP Map

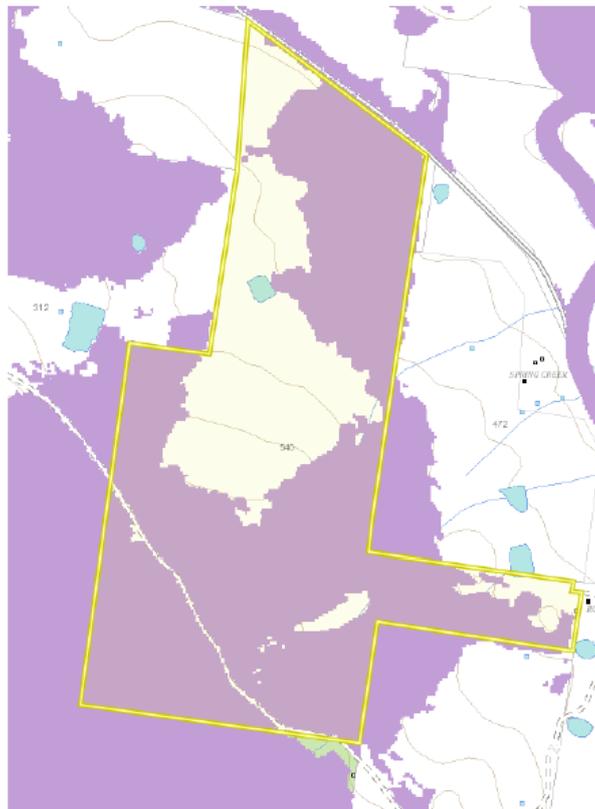


Figure 6 Excerpt of the BV Map

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



The proposed site contains a significant area of land (approximately 20.3 Ha) that has been historically cleared in which a suitable building envelope could be established. Avoidance of high biodiversity areas is recognised as an effective approach in chapter 8 of the Biodiversity Assessment Method (BAM) manual published by the Office of Environment and Heritage.

Further evaluation of the proposed facility location and design can be carried out during the development application stage. If clearing is proposed in areas mapped as being of high biodiversity value on the BV map, a biodiversity development assessment report (BDAR) using the BAM will be required under the *Biodiversity Conservation Act 2016*.

Question 8: Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

The subject site is partially mapped as being groundwater vulnerable on the Groundwater Vulnerability map. The objectives of clause 6.4 of the MWR LEP are to maintain the hydrological functions of critical groundwater systems and protect groundwater resources from depletion and contamination. This clause applies to land identified as "Groundwater Vulnerable" on the Groundwater Vulnerability Map, an excerpt of which is shown in Figure 7.

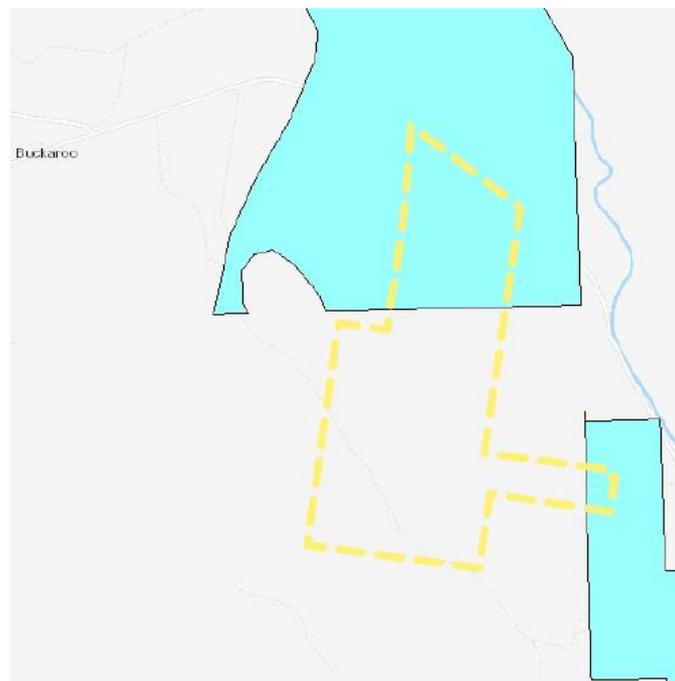


Figure 7 Excerpt of MWR LEP Groundwater Vulnerability Map

No broad excavation or new bores are proposed as part of the subdivision and the site of the development is to be located in the clearing south of the mapped groundwater vulnerable area. Given the negligible interactions with groundwater, the development is not likely to result in groundwater contamination, adversely impact potable water supply or harm groundwater-dependent ecosystems.

Planning Proposal – Additional Permitted Use

540 Buckaroo Road, Buckaroo



As identified, the subject site is mapped as being bushfire prone land on the maps published by NSW RFS. The proposed location of the development includes 20.3 Ha of cleared land that can be utilised to prepare suitable inner and outer asset protection zones (APZs). Consultation with NSW RFS will be undertaken to ensure that adequate systems are implemented to reduce the hazard posed by a bushfire event. This will be maintained on an ongoing basis and will be subject to inspections as required by the facility licensing.

Question 9: How has the planning proposal adequately addressed any social and economic effects?

The development resulting from this planning proposal would have several beneficial direct and indirect economic outcomes for the region. The facility would be located a short drive from the township of Mudgee and would provide employment opportunities. The proposal would also indirectly benefit the extraction and construction industries prevalent throughout the region by providing a cost-effective local drill and blast service.

Social impacts to neighbouring landholders can be mitigated by incorporating design elements or the facility's management, including bunding, offsets to dwellings, and/or credible evacuation. The facility is subject to licensing under the NSW *Explosives Act 2003 No 39* and *Explosives Regulation 2013* and is required to demonstrate compliance with the applicable standards AS2187 Storage & Transport of Explosives and the Australian Explosives Industry and Safety Group (AEISG) UN3375 code of practice. Suitable arrangements with neighbouring landholders, where required, will be demonstrated during the facility's development application and subsequent licensing.

Question 10: Is there adequate public infrastructure for the planning proposal?**Answer: Yes**Transportation and Roads

The subject site adjoins Buckaroo Road, a minor road predominately sealed. An increase in heavy vehicle traffic is anticipated to result from the planning proposal and the subsequent development of the subject site. The applicant has indicated that 1-3 trucks (50 tonnes per truck) are anticipated, increasing to 2-3 trucks per week after the first 12 months. A traffic impact assessment (TIA) may be required during the development application stage to consider the existing transport facilities and assess their adequacy. The TIA will need to address traffic and car parking impacts and identify required site access upgrades to accommodate the heavy vehicles proposed.

Water and Sewer

The proposed development site is located outside Council servicing network and will need to demonstrate that suitable water and effluent disposal is available in the development application.

Electricity

A preliminary review indicates that electricity would be available for connection from the west of the subject site as shown in Figure 8.

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



Figure 8 Electricity Infrastructure Available

Question 11: What are the Views of State and Commonwealth Public Authorities Consulted in accordance with the gateway determination, and have they resulted in any variations to the planning proposal?

It is expected that MWRC will consult with the relevant Public Authorities and consideration of their views will be included.

PART 4 - MAPPING

The proposed amendment to the MWR LEP is to include an additional permitted use under Schedule 1 for a bulk storage and reload facility. The subject site, lot 2 DP1227923, has been identified in Figure 1. Should MWRC pursue this approach, no amendments to the LEP Maps would be required.

PART 5 - COMMUNITY CONSULTATION

Community Consultation for the planning proposal is expected to be undertaken in accordance with the requirements set out in A Guide to Preparing Planning Proposals. It is expected that MWRC will undertake the necessary consultations with the NSW Government and public as directed throughout the planning proposal process.

PART 6 - PROJECT TIMELINE

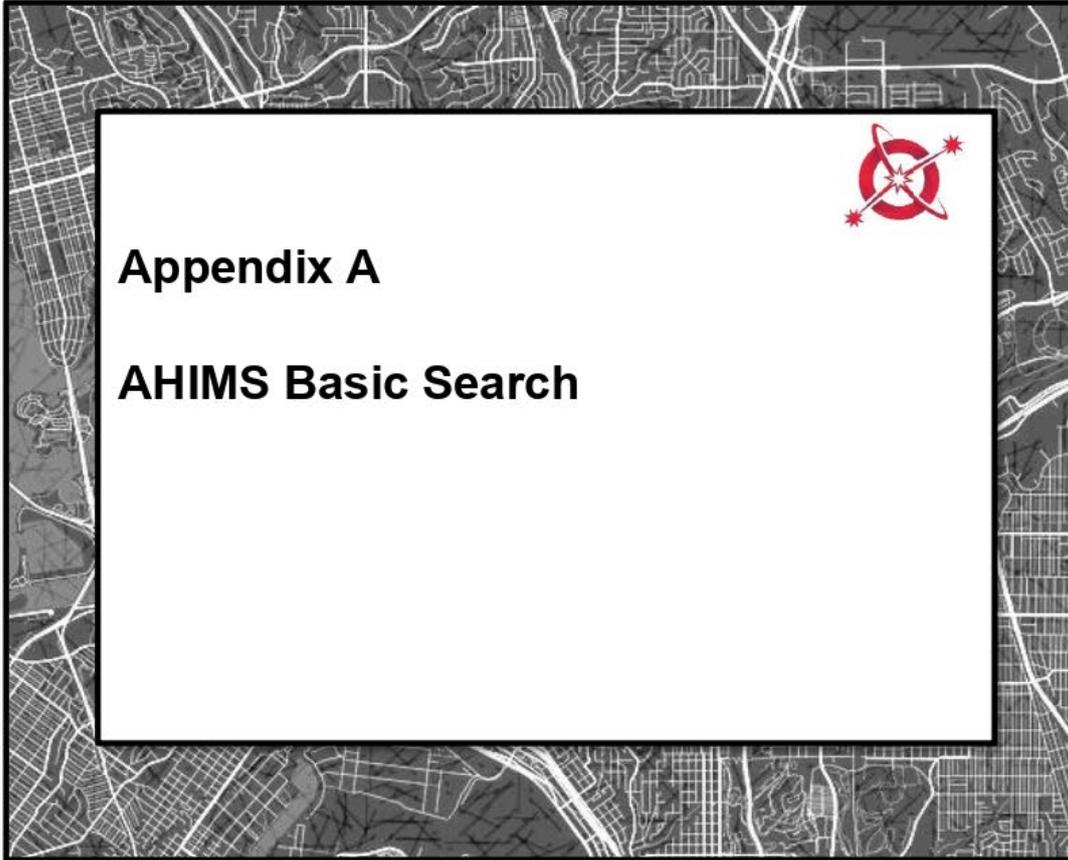
The following provides the anticipated timeframe for the progress of this planning proposal; this timeframe is subject to change where significant delays occur during the process. The applicant intends to acquire the necessary planning approvals, construct (2-month construction timeline) and begin operating the facility within approximately 12 months.

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



Stage	Task	Anticipated Timeframe
Planning Proposal	Planning proposal lodged with Council	Mid-July 2021
	Staff undertake initial assessment	August 2021
	Council Decision to Support Proposal	September 2021
Gateway Determination	Council Requests Gateway Determination	September 2021
	Department of Planning and Environment issues Gateway Determination	October 2021
	Public Exhibition	November 2021
	Post-Exhibition Report to Council	December 2021
Finalisation	Publication of amended LEP	February 2022

Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



Planning Proposal – Additional Permitted Use
540 Buckaroo Road, Buckaroo



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AHIMS Web Services (AWS) Search Result

Purchase Order/Reference : 21-655

Client Service ID : 600246

O’Ryan Geospatial Pty Ltd
129 Church St
Mudgee New South Wales 2850
Attention: Mitchell Foley
Email: info@oryangeospatial.com.au

Date: 22 June 2021

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 2, DP:DP1227923 with a Buffer of 200 meters, conducted by Mitchell Foley on 22 June 2021.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of the Office of the Environment and Heritage AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(http://www.nsw.gov.au/gazette\)](http://www.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Office of Environment and Heritage's Aboriginal Heritage Information Unit upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Office of Environment and Heritage and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.



COMMUNITY GRANTS

Application Form

APPLICANTS DETAILS

Name of Organisation	Mudgee Triathlon Club
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	[REDACTED]
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Mudgee Pool Fees Wavier - 7 local triathlon events, including 1 interclub event	
Amount of funding requested	\$ 1,113.00	
Start and Finish date	START (click to tick) 24.10.21	FINISH (click to tick) 10.4.22
	Briefly, describe Project / Activity The requested amount above is based on pool hire. We hold 7 club races a year including 1 interclub race (against Bathurst, Cowra, Dubbo and Orange).	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

We are a not-for-profit club run entirely by volunteers and, in line with council's objective of a healthier community, we actively encourage participation by people/families of all ages and fitness levels. Our triathlons allow all family members to compete together at the same event. We have many examples of where children's participation has led to their parents participation and vice versa. Our races also suit shift workers who may not be able to participate in other sports because of rotating shifts - again allowing more community member live a more active lifestyle. Our club also contributes to the Mudgee community bringing in overnight / day visitors to our region through the annual interclub series. This was held in November 2018 and drew over 60 athletes & their families to Mudgee. For the last few years we were fortunate to have the MWRC waive our pool hire fees - this afforded us to remove race fees for members.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

Last year we had between 50-120 competitors at each of our races. We expect at least this number again and are even hopeful of attracting more competitors.
Any resident within the council area can participate - our races are not exclusively for members.
As mentioned previously, we understand cost is a barrier to participating in sport in our region; as a club we do our best to remove this. Other steps we have taken include:
Our volunteers hold a free running group for seniors (year round) and juniors (during the tri season), our volunteers provide free swimming training for our juniors over the summer holidays.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

Each of the 4 schools are notified of our triathlons prior to each race in an effort to encourage more competitors. We also use our local newspaper & social media to promote our events and encourage participation.
We also work closely with the Mudgee cycle club and many of our Juniors attend Monday night track cycling races under their instruction.
As a club, we have always participated in Council's Fitness Festival. Although the timing is not ideal, in that it is the end of our race season - we still participate to support this initiative.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

The Mudgee Tri Club has been operating for over 24 years - holding events one Sunday a month, Oct-April. We are a passionate club, who aims to continually grow participation numbers through keeping participation costs low. With councils support we look forward to continued growth in 2021/22
The races times and swim distances are:
Long Course: 8am: 400m, Little Devils: 9.15am 16m, Big Devils 9.30am: 3x16m, Shorts Course 10am: 150m.
It is important to note that people are only using the pool during the races. If they then wish to swim for leisure after the event, they enter using the main entrance & pay entry fees. Approx 80% of participants hold season passes to the pool.



Project Income	Community Grant (amount sought from Council)	\$ 1,113.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 3,385.00
	Other Income	\$ 2,534.15
TOTAL INCOME		\$ 7,032.15

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Insurance	\$ 890.00
	Race Licences and Permits	\$ 957.50
	Food and Beverage	\$ 905.00
	Merchandise & Prizes	\$ 2,473.12
	Equipment maintenance	\$ 554.16
	Traffic Control & General Expenses	\$ 1,200.00
TOTAL EXPENDITURE		\$ 6,979.78

TOTAL SURPLUS / DEFICIT	\$ 52.37
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If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
If yes, please advise date and amount	DATE / YEAR 2020	AMOUNT \$ 1,113.00
Did your group return the acquittal form?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Closing bank balance from the most recent bank statement or treasurer's report	\$ 44,946.00	

Comment on cash set aside for specific projects (optional)

Cash set aside to hold Mudgee Running Festival in August each year. Cash also set aside for upgrade and maintenance of triathlon equipment including pool buoys, transition area bike racks, traffic sign trailer, equipment shed, signs, bikes, BBQ equipment, banners, marquees, PA system and administration equipment.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

	SUPPLIED? (click to tick)	
	YES	NO
A copy of the group's/organisation's most recent bank statement or treasurer's report	<input checked="" type="radio"/>	<input type="radio"/>
A copy of the group's/organisation's public liability insurance	<input type="radio"/>	<input checked="" type="radio"/>
Where the group intends to purchase equipment, a copy of the quote/s obtained	<input type="radio"/>	<input checked="" type="radio"/>
Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required	<input type="radio"/>	<input checked="" type="radio"/>
If your group is not incorporated, please supply a letter from your auspicing body	<input type="radio"/>	<input checked="" type="radio"/>

AUTHORISATION OF APPLICANT

Name

Position

Date

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.



SUBMIT YOUR APPLICATION

EMAIL: After you complete this digital form, please save it to your computer and email to council@midwestern.nsw.gov.au

DELIVER TO: Customer Service Locations

86 Market Street
MUDGEE

109 Herbert Street
GULGONG

77 Louee Street
RYLSTONE

MAIL TO: Mid-Western Regional Council
Attn: Finance Department
PO Box 156
MUDGEE NSW 2850

SUBMIT ONLINE

COMMUNITY GRANTS POLICY

PRINT MY APPLICATION






Application Form

APPLICANTS DETAILS

Name of Organisation	Kandos Rylstone Community Radio Inc
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	[REDACTED]
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Community Capers Newsletter	
Amount of funding requested	\$ 2,000.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	01/07/2021	31/06/2022
Briefly, describe Project / Activity	Publish and distribute monthly community newsletter Community Capers across the region.	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

Through publicising events, items of interest, community announcements and services across a range of providers each month. Through acknowledging residents and organisations that deserve recognition each month and publicising government grants that benefit our region.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

The newsletter is distributed to 1700 resident addresses across the district, placed in newsagents, information outlets and Council's offices. It is also available on KRR's website at krfrm.org.au and the rylstone.com website. Participants include over 20 organisations and groups who contact us regularly with updates and requests to be included in our newsletter.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

The newsletter has been published for over 20 years and was an initiative of Rylstone Shire Council. It was first part-funded by them and since amalgamation has been part-funded by Mid-Western Regional Council. We are supported by a number of community groups including Rotary, Scouts, Fire Brigades, Rescue Squad, Kandos and Rylstone CWA, Cementa and Rylstone StreetFeast. Many other community groups also contact Community Capers each month to update information or place new information. Community volunteers help fold and distribute the newsletter each month.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

Kandos Rylstone Community Radio has been publishing Community Capers for more than 12 years. It is printed in Mudgee by Lynx Printing Service and is folded and distributed each month by a group of volunteers from KRR and the community.



Project Income	Community Grant (amount sought from Council)	\$ 2,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 5,000.00
	Other Income	\$ 10,000.00
TOTAL INCOME		\$ 17,000.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Printing	\$ 7,623.00
	Postage and delivery	\$ 5,000.00
	Editing, layout and distribution	\$ 5,500.00
TOTAL EXPENDITURE		\$ 18,123.00
TOTAL SURPLUS / DEFICIT		-\$ 1,123.00

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

The deficit of \$1,123.00 will be funded by KRR's contribution from its own finances.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
If yes, please advise date and amount	DATE / YEAR 01/07/2020	AMOUNT \$ 11,000.00
Did your group return the acquittal form?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Closing bank balance from the most recent bank statement or treasurer's report	\$ 25,658.00	

Comment on cash set aside for specific projects (optional)

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

	SUPPLIED? (click to tick)	
	YES	NO
A copy of the group's/organisation's most recent bank statement or treasurer's report	<input checked="" type="radio"/>	<input type="radio"/>
A copy of the group's/organisation's public liability insurance	<input checked="" type="radio"/>	<input type="radio"/>
Where the group intends to purchase equipment, a copy of the quote/s obtained	<input type="radio"/>	<input checked="" type="radio"/>
Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required	<input checked="" type="radio"/>	<input type="radio"/>
If your group is not incorporated, please supply a letter from your auspicing body	<input checked="" type="radio"/>	<input type="radio"/>

AUTHORISATION OF APPLICANT

Name	<div style="background-color: black; width: 100px; height: 15px;"></div>
Position	<div style="background-color: black; width: 100px; height: 15px;"></div>
Date	<div style="background-color: black; width: 100px; height: 15px;"></div>

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- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
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COMMUNITYGRANTS**SUBMIT YOUR APPLICATION**

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MAIL TO: Mid-Western Regional Council
Attn: Finance Department
PO Box 156
MUDGEE NSW 2850

[SUBMIT ONLINE](#)[COMMUNITY GRANTS POLICY](#)[PRINT MY APPLICATION](#)

From: [REDACTED]
To: [REDACTED]
Subject: Community Grant
Date: Monday, 9 August 2021 2:33:01 PM
Attachments: [community-grant-application-form-2021-final.pdf](#)
[Elders Insurance 2021.pdf](#)
[KRR Financial Report March 31, 2021_001041.jpg](#)

Dear Council.

At the last Council meeting, Council allocated Kandos Rylstone Community Radio Inc. \$10,000 for costs to publish Community Capers. I recently received a phone call from Councillor Peter Shelley who said he was absent from this meeting and didn't get an opportunity to move a motion regarding this grant.

He has therefore asked me to submit another application for an extra \$2,000 to bring it up to the original application request, which he will speak on at the next Council meeting. He asked me to refer to him regarding this submission.

[REDACTED]
President, Kandos Rylstone Community Radio Inc.



This email has been checked for viruses by AVG antivirus software.
www.avg.com



MID-WESTERN REGIONAL COUNCIL
RECEIVED - RYLSTONE
- 5 AUG 2021
CUSTOMER SERVICE CENTRE

Application Form

APPLICANTS DETAILS

Name of Organisation	Kandos Rylstone Men's Shed Inc.
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	[REDACTED]
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	MWRCI Rate relief	
Amount of funding requested	\$ 1,138.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	N/A	N/A
Briefly, describe Project / Activity	Obtaining this rate relief will free up funds to assist day to day running of the Shed Seeking Rate relief as per previous years.	

MID-WESTERN REGIONAL COUNCIL
RECORDS
RECEIVED
09 AUG 2021
 SCANNED
 REGISTERED



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

This funding will enable will allow these funds to be available to be used for community activities

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

The Shed has a membership of 24. It is a place for the wider community and organisations to seek assistance with community and individual with various projects, small jobs and repairs needed.

Our shed is known locally as the place to go to for assistance

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

We have excellent liaison with local community groups and businesses.

Throughout the year we are called upon for assistance. Sometimes providing manpower

We provide a weekly service to the Kandos Community Charity Shop, checking and repairing goods that are donated to them, prior to their sale in the shop.

We have often assisted the local schools from kindergarden, through to high school with various projects

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

N/A



	Community Grant (amount sought from Council)	\$ 1,138.00
Project Income	Expected Sales Revenue i.e. Entry Fee, Membership Sales	
	Other Income	
	TOTAL INCOME	\$ 1,138.00

List proposed cash expenditure (provide copies of quotes for equipment)

	\$ 1,138.00
Project Expenditure	
TOTAL EXPENDITURE	\$ 1,138.00
TOTAL SURPLUS / DEFICIT	\$ 0.00

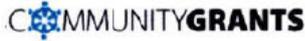
If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>





Has your organisation/group previously received a Community Grant from Council?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
If yes, please advise date and amount	DATE / YEAR 09/20	AMOUNT \$ 1,112.00
Did your group return the acquittal form?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Closing bank balance from the most recent bank statement or treasurer's report	<input type="text"/>	
Comment on cash set aside for specific projects (optional)	<input type="text"/>	

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

	SUPPLIED? (click to tick)	
	YES	NO
A copy of the group's/organisation's most recent bank statement or treasurer's report	<input checked="" type="radio"/>	<input type="radio"/>
A copy of the group's/organisation's public liability insurance	<input type="radio"/>	<input checked="" type="radio"/>
Where the group intends to purchase equipment, a copy of the quote/s obtained	<input type="radio"/>	<input checked="" type="radio"/>
Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required	<input type="radio"/>	<input checked="" type="radio"/>
If your group is not incorporated, please supply a letter from your auspicing body	<input type="radio"/>	<input checked="" type="radio"/>

AUTHORISATION OF APPLICANT

Name	<input type="text"/>
Position	<input type="text"/>
Date	<input type="text"/>

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.




Application Form

APPLICANTS DETAILS

Name of Organisation	Mudgee Lions Club
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	[REDACTED]
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Mudgee Lions Community Twilight Market and Festival;	
Amount of funding requested	\$ 2,500.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	Saturday 11 december 2021	Saturday 11 December 2021
Briefly, describe Project / Activity	<p>Combined market and fun festival for the whole community with a festive, Christmas theme. Held each year since 2014 (the 2020 event held in April 2021 -f COVID restrictions), the principal focus is on fun and activities for all of the family while keeping costs as low as possible and also to get the involvement of as many community groups as possible.</p>	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

The event is designed to be fun and enjoyable at minimum cost to the local families and, by design, there are limited economic effects for the area. The event does, however have significant community and social benefits based on its popularity and success over the past 6/7 years; it brings a lot of pleasure to the locals and provides an opportunity for many other community groups and causes to promote and market their programmes or to raise funds. There is a strong "community ownership" of this annual event and, after the COVID problems of the past year or so, should be a great opportunity for families to enjoy themselves. All Lions Clubs bring significant benefits to their communities - Mudgee Lions celebrates its 60th anniversary this year - and every dollar raised from the community is put back into the community.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

The deferred 2020 event is estimated to have attracted about 2,000 visitors to the market but the festivals held in December usually attract double that number and these are predominantly locals. The large number of community groups who participate is testament to a very significant community involvement and typically there are over 120 local volunteers involved at each festival.

In addition to the support from Council, we have enjoyed a lot of assistance from local businesses who are again expected to participate - Coates Hire and Peters Refrigeration have generously donated equipment and Moolarben Coal have sometimes provided financial support and usually the loan of marquees etc.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

Community groups who have regularly participated in the markets include First Mudgee Scouts, Venturers and Guides, Cudgegong Cruisers, Mudgee Junior Rugby Union, Mudgee Junior Rugby League, local Dance Academies/groups and local Playgroups many of which operate equipment and games etc supplied by Mudgee Lions for the night. Not-for-profits which attend to promote their causes have included the Hospital Auxilliary, local Wildliofe Carer Networks, Riding for the Disabled, Cancer and Alzheimer Support Groups, the Rural Fire Service, CWA ladies and the like. The number of local volunteers would be well in excess of 120.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

Our capacity to deliver the event in December is dependant on the COVID status of the area at the time but hopefully we can provide most of the usual attractions - the community deserves a good, fun event even moreso this year.

This annual project has been successfully delivered over the past several years and the format has proved to be popular with the community which looks forward to the event each year. Mudgee Lions has typically funded the initial expenses (for advertising, posters and banners, letter box drops etc) and recoups some of that through donations etc at the event - Lions usually fund around net \$1,000 each year.

COMMUNITY GRANTS

Project Income	Community Grant (amount sought from Council)	\$ 2,500.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 1,000.00
	Other Income	\$ 3,500.00
TOTAL INCOME		\$ 7,000.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Show Bags, Books and Other Giveaways	\$ 3,000.00
	Supplies - Popcorn, Floss, Snow cones etc	\$ 800.00
	Printing and Banners ets	\$ 1,200.00
	Donations to participating community groups	\$ 3,000.00
TOTAL EXPENDITURE		\$ 8,000.00

TOTAL SURPLUS / DEFICIT	-\$ 1,000.00
--------------------------------	---------------------

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

Other income is the Lions contribution of \$2,000 and indicated support of \$1,500 from Moolarben Coal. Net contribution from Lions estimated at \$1,000 which we treat as a donation to the community.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
If yes, please advise date and amount	DATE / YEAR 2020	AMOUNT \$ 2,500.00
Did your group return the acquittal form?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Closing bank balance from the most recent bank statement or treasurer's report	\$ 25,626.13	

Comment on cash set aside for specific projects (optional)

The balance of the Mudgee Lions Project Account at 30 June 2021 includes dedicated amounts raised or particular projects of \$13,560 with the balance of \$12,000 available for our ongoing community work.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

	SUPPLIED? (click to tick)	
	YES	NO
A copy of the group's/organisation's most recent bank statement or treasurer's report	<input checked="" type="radio"/>	<input type="radio"/>
A copy of the group's/organisation's public liability insurance	<input checked="" type="radio"/>	<input type="radio"/>
Where the group intends to purchase equipment, a copy of the quote/s obtained	<input type="radio"/>	<input checked="" type="radio"/>
Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required	<input type="radio"/>	<input checked="" type="radio"/>
If your group is not incorporated, please supply a letter from your auspicing body	<input type="radio"/>	<input checked="" type="radio"/>

AUTHORISATION OF APPLICANT

Name	<input type="text" value="REDACTED"/>
Position	<input type="text" value="REDACTED"/>
Date	<input type="text" value="REDACTED"/>

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
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COMMUNITYGRANTS

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PO Box 156
MUDGEE NSW 2850

[SUBMIT ONLINE](#)[COMMUNITY GRANTS POLICY](#)[PRINT MY APPLICATION](#)

COMMUNITY GRANTS



Application Form

APPLICANTS DETAILS

Name of Organisation	Gulgong Chamber of Commerce Inc
Contact Person	[REDACTED]
Address	[REDACTED]
Phone	[REDACTED]
Email	[REDACTED]
ABN	[REDACTED]
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Gulgong Chamber of Commerce Administration	
Amount of funding requested	\$ 11,000.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	1 July 2021	30 June 2022
Briefly, describe Project / Activity	Gulgong Chamber Of Commerce administers, finances and operates 5 major community activities. It assists many community groups in our area to help ensure the smooth running of their many events staged in the Mid Western Regional Council area. Administration of the Gulgong Gossip, Mid-WEstern Mail, Community bus services and Heart of Gulgong are underpinned by program admin and financial input.	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

As above. Answered in attached letter

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

Whole of Gulgong Community and parts of Mid-Western Region. More detail in attached letter.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

There has been wide community and business consultation. Details in attached letter

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

Previous Projects Delivered:
Henry Lawson Heritage Festival
Chinese Gold and Mining Festival
Christmas lights festival

Current ongoing:
Heart of Gulgong 24/7 Defibrillator Program
NightRider Management
RDA Children's Bus
Community Magazines X 2
Community Bus



Project Income	Community Grant (amount sought from Council)	\$ 11,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 15,400.00
	Other Income	\$ 13,000.00
TOTAL INCOME		\$ 39,400.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Contractor payments for Bus and NightRider Services	\$ 17,000.00
	Purchase and maintenance of Defibrillators and cases	\$ 18,000.00
	Website upgrade and Management to support projects	\$ 5,800.00
	Utilities, stationery, printing and postage	\$ 920.00
TOTAL EXPENDITURE		\$ 41,720.00
TOTAL SURPLUS / DEFICIT		-\$ 2,320.00

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input checked="" type="radio"/>	<input type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

If yes, please advise date and amount

DATE / YEAR	AMOUNT
2017	\$ 10,000.00

Did your group return the acquittal form?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

Closing bank balance from the most recent bank statement or treasurer's report

Comment on cash set aside for specific projects (optional)

The Chamber of Commerce uses MYOB to manage specific projects. Both Magazines use Job Cards to maintain visibility of costs and income. Other projects are managed through monthly reconciliation reports. This is facilitated by costing employment of a bookkeeper to each project. Each program is funded but due to COVID-19 lockdown, the Chamber cannot hold activities to support the administration.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

AUTHORISATION OF APPLICANT

Name

Position

Date

- I confirm that the information contained in the application form and within the attachments are true and correct.
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MUDGEE NSW 2850

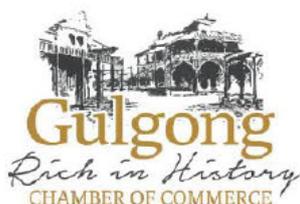
SUBMIT ONLINE

COMMUNITY GRANTS POLICY

PRINT MY APPLICATION



Temp ID: GCOC-LET Template Ver No: 2.2

PO Box 400
GULGONG NSW 2852

15 Sep 2021

General Manager
Mid-Western Regional Council
PO Box 156
MUDGEE NSW 2850

APPLICATION FOR FINANCIAL ASSISTANCE

Since December 2019, the Gulgong Chamber of Commerce has not been able to hold its annual fund raising activities to provide the administration costs required to support Gulgong businesses and the community. This situation was brought about by the catastrophic bushfires and then the COVID-19 enforced isolation and lockdowns.

During this time, the Gulgong Chamber of Commerce has maintained its community presence, advocating for local business and the community through Business NSW to NSW Treasury as well as producing the Mid-Western Mail Regional Magazine and the Gulgong Gossip, managing the NightRider community bus service, where possible, Riding for the Disabled School Bus Service as well the getting to Gulgong and making gains Gulgong.

The Gulgong Chamber of Commerce is currently rolling out the Heart of Gulgong Automatic External Defibrillator 24/7 access Program and all events for this program have had to be postponed.

Each project or program requires administration support as well as work on the Chamber's community website to ensure all Gulgong and wider community members can receive accurate and timely information. The Gulgong.com.au website performs the additional function of tourist information and will show the location and availability of AEDs in Gulgong. This is a vital community asset. Financial support is critical to enable this particular update to occur. As regional NSW moves out of lockdown, the Gulgong Chamber of Commerce sees that it is a community lead in supporting the reorganisation of local business and community functions. Although most functions are provided by volunteers, funds are required to pay an external web manager to bring the Chamber's web page up to current requirements, purchase advertising, stationery and provide book keeping services to manage public and non-public monies grants. The attached Commitment Report shows public and non-public moneys committed for specific purposes. So while the bottom line looks attractive, it is money committed to specific programs or projects and not available for administration.



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It should be noted that most of these administrative functions were managed/ facilitated by the Gulgong Towns Promotions Officer which was supported long term by MWRC.

Thank you for your consideration of this grant application.

Point of Contact for this application is:






GULGONG CHAMBER OF COMMERCE INC